



***SOUTHWEST COASTAL DESIGN REVIEW / CITIZEN ADVISORY COMMITTEE
REGULAR MEETING AGENDA***

Wednesday, April 15, 2009 @ 5:30 P.M.

5:30 - Pre-Meeting Presentation: Upon the request of the committee “Wingard Planning & Development Services, LLC” will give a presentation. The presentation will discuss the steps necessary for Arch Cape to become an incorporated municipality under their own jurisdiction.

[illegible]

1. **CALL MEETING TO ORDER (George Cerelli, Chairperson) 6:00 p.m.**
2. **ROLL CALL**
3. **BUSINESS FROM THE PUBLIC** - This is an opportunity for anyone to give a brief presentation (3 minutes or less) to the Committee on any land use planning issue or county concern that is not on the agenda.
4. **CONSIDERATION OF MINUTES:**
 - March 18, 2009 (Attached) Page 2
5. **CONSENT CALENDAR / MINOR REVIEW ITEMS**
 - Petrina / Hasenberg Road Extension: Page 7
 - Applicants are requesting to extend road and utility services to their parcel
 - Michael Huemann et. al. Footbridge across Arch Cape Creek: Page 31
 - Applicants are proposing to replace a wooden Footbridge with a metal one
6. **PUBLIC HEARINGS / MAJOR DESIGN REVIEW:**
 - **Calhoun** New Residential Development: Page 69
 - The applicants are seeking Design review approval for the placement and design of a single family dwelling to be located on property in their ownership located to the north west of the intersection of Hemlock and Woodland Heights
7. **OTHER DISCUSSION**
 - This is a chance for the committee to discuss and invite testimony from outside agents regarding topics of interest
8. **ADJOURN**



***MINUTES FROM THE SOUTHWEST COASTAL DESIGN REVIEW / CITIZEN ADVISORY
COMMITTEE MEETING HELD MARCH 18, 2009 AT 6 p.m.***

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Chairman George Cerelli called the meeting to order at 6:00 p.m.

Members present: George Cerelli, Debra Birkby, John Mersereau, Stephen Malkowski, Tim Crawford,
Linda Murray Staff Present: Teri Allen and Mike Weston.

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Business From The Public: Helen Paulus raised concerns about the accessory structure / guesthouse that was constructed on Maxwell Lane, by Bob Cerelli for Reynolds / Madison remodel.

Mike Weston (MW): The owners proposed to remodel a garage, accessory structure. The application was originally a major but was changed to a minor design review. Teri Allen provided information to the committee by Teri Allen as a minor remodel. Although the Structure

Helen Paulus (HP): Felt she needed to raise concerns about the matter to the County and felt the matter needed to be reviewed for conformance with the ordinance. She felt the structure was over the 18' height limit and created a visual impact upon her parcel, which has now devalued her property.

The original notice she received described a minor remodel not an entirely new structure. In addition the contractor Bob Cerelli told her that this would not impact her property. However after construction the eastern wall of the Guest House now obstructs her entire western/ocean view.

"Why did it have to be a second dwelling? Why did it have to be so high?" Ms. Paulus wishes this would have been more transparent, and should have been processed as a major design review.

MW: Explained why the accessory structure was processed as a minor review. Offered to draw up a policy to ensure minor reviews go before the design review board before the Director approves them.

HP: Why did Brisbee and Wheeler come before the design review board but this 2 story accessory structure did not come before the board.

MW: Explained the difference between minor and major design review as depicted in section 4.104 §'s 1 & 2. "31873 Maxwell Lane"

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Merrell Variance Request: Applicant's are requesting a 10-foot variance to the 20-foot street side setback.

Linda Murray (LM): Requested information regarding the 25-foot easement that was self imposed.

Debra Birkby (DB): Explained the difference between the 5-foot side setback and the 20-foot street side setback.

LM: Why does this need to be a variance?

MW Explained the requirements of the ordinance and described why the variance is necessary.

Tom Merrell discussed the situation, and why they were requesting a variance explaining the slope of the lot, drainage issues and the negative slope into the accessory structure. He explained that this would create engineering problems with the foundations. He also explained that because of the self imposed easement to the west their buildable space was reduced and the area they could have put the garage to avoid the

drainage was now dedicated as a right of way. In its current proposed location the drainage from East Ocean would head straight for the Accessory Structure.

Tim Crawford (TC): Motioned for Approval

LM: Seconded the Motion

DISCUSSION

DB: Raised concerns that there was no apparent hardship.

TC: Explained the elevation difference on the lot and related how the objective was to build the structure at or near the same elevation of the street.

Tom Merrell: explained the drainage in more detail, and the land lock issue

DB: Explained that she doesn't see it as a hardship and because of the possibility of future development in this area it doesn't make sense to grant a variance to the street setback on one of the first homes that go up in that area. The granting of the variance will set a unfavorable precedent for future growth in the area, which will lead to other owners requesting similar variances and soon you have a situation where garbage trucks and fire trucks and other traffic being jammed up like some of the other areas in the community.

John Mersereau and Others: Discuss the letter from Mike Brand the actual degree of the hardship, access to the site, slopes, drainage, and the self imposed easement because of the missing street "Skyline," which doesn't seem to be present at this time.

John Wickman (Surveyor): Provided testimony regarding platted street easements in the area explaining that E. Ocean was the only one currently recorded.

Stephen Malkowski: discussed the variance criteria that states the Variance cannot be self imposed and how the applicants easement is a self imposed easement, discussion among committee members led to the group deciding the it was better to provide the easement now than have it imposed at a later date.

LM: Called for the question

Motion Passed 4 in favor and 1 opposed.

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BRISBEE RESIDENTIAL EXPANSION: Mike Weston explained the application and material submitted to the committee and discussed the average grade calculations, flood hazard concerns and overall proposal.

TC: Whole backyard is covered with decking and the plot plan does not include the accessory structure behind the house. It is impossible to determine if the proposal meets the 40% clause unless the applicants provide a proper site plan in order to determine total square footage. In particular there is a utility room on the back of the house, a deck, and an accessory structure. Furthermore the plot plan doesn't show the dimensions of the accessory structures on the site.

LM: Discussed the letter from neighbors.

Debra Birkby: Motioned, to conditionally approve the application. Applicant needs to provide the committee/staff with a suitable plot plan and calculations including the accessory structures that are not identified with the plot plan provided. If everything is under the 40% then approve.

Tim Crawford: Seconded the Motion

DISCUSSION:

LM: How is the motion going to read?

DB: "Motion to approve with the condition that the application satisfies section 3.068 § 1(D)."

Motion Passed Unanimous.

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WHEELER EXPANSION OF A NON-CONFORMING USE: Mike Weston explained the application and material submitted to the committee and discussed the criteria for the non-conforming expansion and alterations.

John Mersereau (JM): Raised concerns about the language concerning the non-conforming use vs. a non-conforming structure. In the past there was some concern over whether an expansion to a non-conforming structure was permissible. The language identifies that the expansion a non-conforming structure has to be in conformance with the ordinance or they need a variance. In this case they are expanding the portion of the structure that is above 18' so do we consider that as an alteration or an expansion. Why is it not coming into conformance with the height?

MW: Explained the Non-conforming use section 5.610 together with the section 5.608 discussing alterations and expansions.

LM: Discussed the difference between **structure** and **use** and that the language lends one to believe that the two are different. Basically the ordinance would lend you to think that any expansion to a non-conforming structure has to be in conformance with the 18' height limit.

JM: Agree that all new alterations should have to conform to the 18 foot

MW: Described allowable alterations, expansion, defined in section. And explained that an expansion of the footprint would probably require a variance and if the structure is on the ocean front visual impacts would prevent the expansion of the footprint to any height greater than 18'.

Multiple Commission Member discuss the interpretation of the language, felt that any expansion to the foot print should be required to be under 18'. The committee is concerned that similar situations might arise that would conflict with the 18' height limit, especially when your expanding an ocean front home that is at a height of 26'.

Committee and Staff agreed that an expansion of a non-conforming structure along the ocean front having a height over 18' should not be allowed to expand the footprint beyond what is already existing, if such an expansion were requested the expansion would have to satisfy the 18' height regulation, because an expansion of an ocean front structure that was greater than 18' height regulation would have substantial impacts upon view sheds and therefore would be prohibited in accordance with Section 5.610 § (C) 1(d).

Linda Murray: Moves to approve the application as presented.

Tim Crawford: Seconds the motion

Motion Passed 5-0-1 with one abstention.

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OTHER DISCUSSION: Members from the committee discussed the non-conforming structure and other language throughout the ordinance that the committee would like to discuss with Staff and the Committee. Committee would like to schedule a meeting with staff to discuss possible alterations to the Ordinance for the future of the Arch Cape Community.

The Committee and Staff discussed future design review procedures including height requirements and proof of height through survey requirements. In particular Babener's residential expansions and others in the region that are very close to the height restrictions.

Community members brought up the Butori Road Design & Clear Cutting. {DB} discussed the issue and why it was requested to be on the agenda for the meeting. {DB} thought it was important that the committee revisit the approval and forestry permit. Questioned about the renewal of the '08 permit for clear cutting. Timber from cutting was to be placed on the lots they were taken from.

MW explained that in discussions with Ashley Lertora with the Forestry Department the “clear cutting” that was described in the permit was to remain within the defined right of way and only for the purpose of constructing the road.

Citizens want to see something in writing that the neighbors have given their permission for him to take the logs. In addition the proposed design was for a 40’ easement and utilities were supposed to be laid within the 40’. Neighbors claim that the clear cut is much larger than 40’. Concerns regarding the cuts in the slopes along with where Tom is pushing the dirt that he cuts out of the slope. In particular an entire corner has been filled and now there is a huge soil deposit at the end of Walsh and the trees were cut at the corner of 4th. The road does not slope toward the drainage and now access to particular parcels is extremely difficult.

Staff volunteered to check with the county engineer to ensure the applicant is conforming to the plan approved by the Design Review Committee.

In other discussion Tim Crawford discussed the recent updates and renditions to wetland maps of the area and **Motioned** to have the new wetland maps considered when reviewing any new developments that are considered in the Arch Cape Area.

Debra Birkby seconded the motion.

Motion Passed Unanimously.

The Meeting was adjourned at 8:45 p.m.



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CLATSOP COUNTY
Trans. & Dvlp. Svcs., Planning Division
800 Exchange Street, Suite 100
Astoria, OR 97103

www.co.clatsop.or.us
ph: 503-325-8611
fx: 503-338-3666
em: comdev@co.clatsop.or.us



April 15, 2009

SOUTHWEST COASTAL DESIGN REVIEW / CITIZEN ADVISORY COMMITTEE

CRITERIA EVALUATION SHEET – DESIGN REVIEW

Applicant:

CKI, INC.

PO BOX 309

Seaside, OR 97138

Owner:

J & C Petrina / J & C Hasenberg

2104 NE 45th Street

Portland, OR 97213

Property Description:

T4N, R10W, Sec. 30BC, TL 1700

CRITERIA

1. Relation of Structure to Site:

2. Protection of Ocean Views:

3. Preservation of Landscape:

4. Buffering and Screening (For Commercial Uses):

5. Vehicle Circulation and Parking:

6. Utility Service:

7. Signs:

8. Surface Water Drainage:

9. Other Criteria for Evaluation:

The above-entitled matter came before the Southwest Coastal Design Review and Citizen Advisory Committee at its April 15, 2009 meeting for a public hearing and consideration of proposal.

Based upon the evidence and testimony provided by the applicant, planning department staff, and the citizens of the area, this committee hereby recommends this application be: { *Approved, Conditionally Approved, Denied* }

Dated this ____ day of April 2009

The Southwest Coastal Design Review /
Citizen Advisory Committee

George Cerelli, Chairman Clatsop County
SW Coastal DR/CA Committee

Clatsop County Community Development
Department
800 Exchange Street, Suite 100,
Astoria, OR 97103

ph: 503-325-8611
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PUBLIC NOTICE FOR AN ISSUE BEFORE THE TRANSPORTATION & DEVELOPMENT DIRECTOR

In the matter of an application for Minor Design Review regarding the extension of utilities, and the extension of Ocean View Avenue, submitted by CKI, INC. on behalf of the owners Joseph/Colleen Petrina, & John/Carol Hasenberg. The legal description of the Parcel is **T4N, R10W, §30BC, TL 01700.**

*(For more information see **Page 2** of this notice)*

DATE OF DECISION:	April 24, 2009
COMMENT PERIOD:	April 7, 2009 – April 22, 2009
DESIGN REVIEW HEARING:	April 15, 2009, 6pm Arch Cape Fire Hall
SEND COMMENTS TO:	Public Service Building, 800 Exchange Street, Suite 100 Astoria, Oregon 97103
CONTACT PERSON:	Michael Weston II, Clatsop County Planner

You are receiving this notice because you either own property within 250 feet of the property that serves as the subject of the land use application described in this letter or you are considered to be an affected state or federal agency, local government, or special district. A vicinity map for the subject property is attached.

NOTICE IS HEREBY GIVEN that Clatsop County's Transportation & Development Services have received the land use application described in this letter. Pursuant to section 4.100 of the Clatsop County Land Water Development and Use Ordinance a **Public Hearing is scheduled before the Design Review Committee on Wednesday, April 15, 2009** and; Pursuant to Section 2.020 of the Clatsop County Land and Water Development and Use Ordinance (LWDUO), the Department Director is scheduled to render a decision based on evidence and testimony on Friday, April 24, 2009 at the Public Service Building, 800 Exchange St., Suite 100, Astoria, OR 97103.

All interested persons are invited to submit testimony & evidence in writing by addressing a letter to the Clatsop County Transportation & Development Director, 800 Exchange Street, **Suite 100**, Astoria, OR 97103. Written comments may also be sent via FAX to [503-338-3666](tel:503-338-3666) or via email to comdev@co.clatsop.or.us. Written comments must be received in this office no later than **4PM on Wednesday April 15, 2009** in order to be considered at the **Public Hearing** and no later than **Wednesday, April 22, 2009** in order to be considered in the **Decision**.

NOTE: Failure of an issue to be raised in a hearing, in person or by letter, or failure to provide statements or evidence sufficient to afford the decision maker an opportunity to respond to the issue precludes an appeal based on that issue.

THE LAND USE APPLICATION DESCRIBED:

The applicants are requesting to extend the road beyond its current terminus by approximately 150 feet. They are also proposing to extend water and sanitary lines and tie into to the existing water and sanitary lines. By extending the road the applicants will be able to gain access to their parcel. This development is considered a minor design review because it is the logical progression of development. In addition the proposal extends and utilizes existing utility lines for future residential service to the site. Should this proposal have impacts upon multiple properties it would need to be assessed as a Major Design Review and subject to the conditions & criteria of such a development.

For More Details regarding Location and Design see pages 3 & 4

The following criteria from Clatsop County Land and Water Development and Use Ordinance (LWDUO) apply to the request: § 1.010-1.050 (Definitions), 2.020 (Type II Procedure), 2.120 (Procedure for Mailed Notice), 2.230-2.260 (Request for Review/Appeal et al), 3.060 (Arch Cape Rural Community Residential Zone), 4.100 (Site Development Review Overlay District {SDRO}), Clatsop County's Standards Document Chapters 1 – 6.

In addition, the following elements of the Clatsop County Comprehensive Plan apply to the request: Goal 1 (Citizen Involvement), Goal 2 (Land Use Planning), Goal 5 (Natural Resources, Scenic and Historic Areas, and Open Spaces), Goal 6 (Air, Water and Land Resources Quality), Goal 7 (Natural Disasters & Hazards), Goal 8 (Recreational Needs), Goal 9 (Economy), Goal 10 (Housing), Goal 11 (Public Facilities and Services), Goal 12 (Transportation), Goal 13 (Energy Conservation), Goal 17 (Coastal Shorelands), Goal 18 (Beaches and Dunes), the Southwest Coastal Community Plan, and the Clatsop County Transportation System Plan.

These documents are available for review at the Clatsop County Community Development Department office, 800 Exchange Street, Suite 100, Astoria, Oregon and on-line at the county's website, www.co.clatsop.or.us.

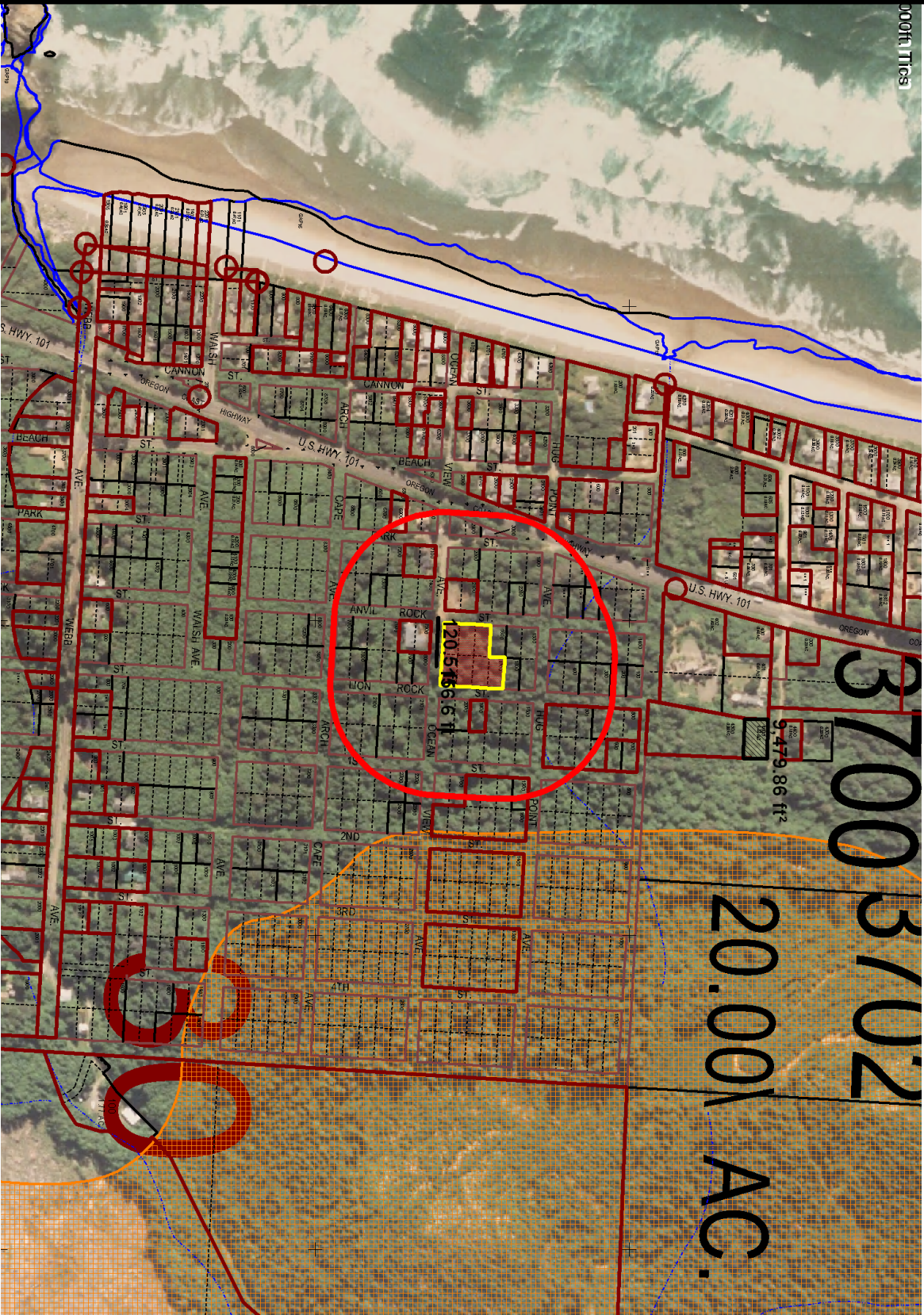
A copy of the application, all documents and evidence submitted by or on behalf of the applicant and applicable criteria are available for inspection at the Transportation & Development Department Office during normal business hours (M-F, 8-5) at no cost and will be provided at reasonable cost.

If you have questions about this land use matter or need more information, please contact Michael Weston II, Clatsop County Planner, at (503) 325-8611 or via email at mweston@co.clatsop.or.us.

Notice to Mortgagee, Lien Holder, Vendor or Seller: ORS Chapter 215 requires that if you receive this notice it must promptly be forwarded to the purchaser.

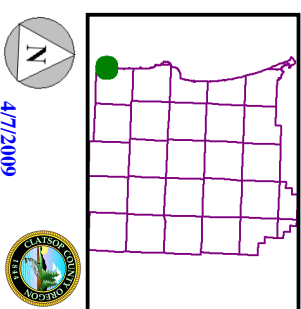
Clatsop County Map

- Geological Hazards
- PLS
- PLS Townships
- Surveys
- Tax Map
- Water Body
- Creek
- Parcel Boundary
- Supplemental Boundary
- Road R-O-W



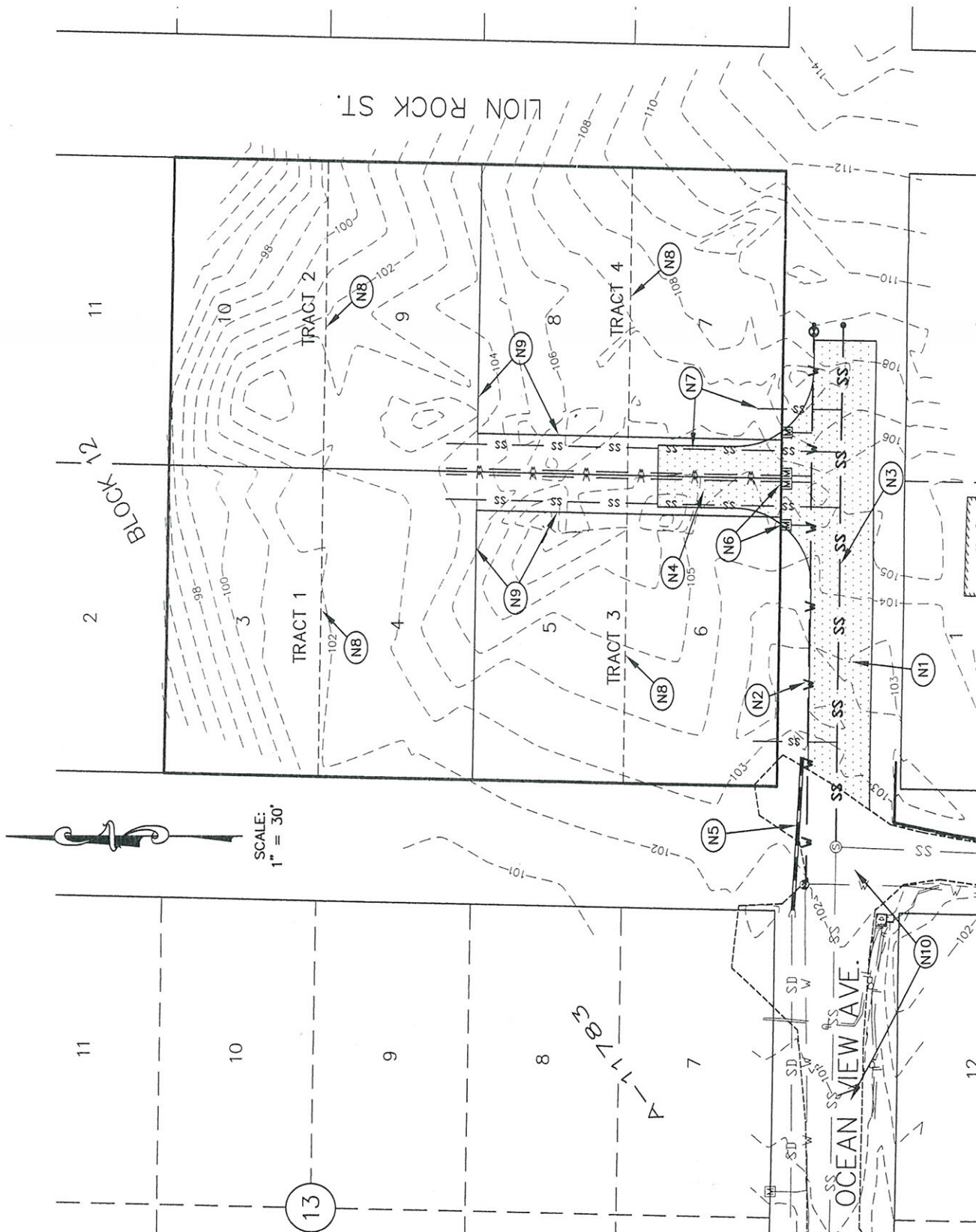
This map was produced using the Clatsop County GIS data. The GIS data is maintained by the county to support its governmental activities. The county is not responsible for map errors, omissions, misuse or misinterpretation.

1 in. = 492 ft.



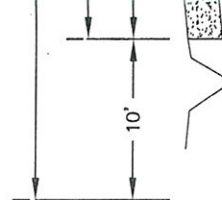
NOTES

- (N1) PROPOSED PUBLIC STREET
- (N2) PROPOSED PUBLIC WATER MAIN
- (N3) PROPOSED PUBLIC SANITARY MAIN
- (N4) PROPOSED FIRE APPARATUS TURN
- (N5) PROPOSED STORM LINE/CULVERT
- (N6) PROPOSED WATER SERVICE (TYPE)
- (N7) PROPOSED SANITARY LATERAL
- (N8) EXISTING PROPERTY LINES
- (N9) PROPOSED PROPERTY LINES (PROPERTY LINE ADJUSTMENT)
- (N10) EXISTING GRAVEL ROADWAY



*OVERSIZED Document
Submitted*

FIRE A



Proposed Design Review Application

For
Joe Petrina

March 2, 2009

Legal Description:

Tax Lots 1600 and 1700 Located in Section 30BC,
T4N, R10W, W.M., Clatsop County, Oregon

Planner/Engineer/Surveyor:

CKI, Inc.
PO Box 309
Seaside, Oregon 97138
Phone: (503) 738-4320
Fax: (503) 738-7854

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Section A	Clatsop County Design Review Application
Section B	Project Narrative addressing consistency with the Clatsop County Land and Water Development Use Ordinance
Section C	Reduced Preliminary Plans and Tax Map

Section A

Clatsop County Design Review Application



**APPLICATION FOR
DESIGN REVIEW**

Fee: Major Construction - \$711.00 (see attached page for explanation)
Minor Construction - \$554.00 (see attached page for explanation)

APPLICANT: CKI, INC Phone: 503 738 4320

Address: PO BOX 309 SEASIDE, OR 97138

OWNER: JOE PETKINA AND JOHN HASENBORG Phone: 503 331 1069

Address 3706 NE DAVIS ST PORTLAND, OR 97232

AGENT: CKI, INC - DEAN KERANEN, PE Phone: 503 738 4320

Address: PO BOX 309 SEASIDE, OR 97138

Proposed Development: PROPOSED ROAD AND UTILITY EXTENSIONS

Present Zoning: AC-RCR Overlay District: SDRO

Lot Size: 40,000 SF

Property Description:	<u>4N</u>	<u>10W</u>	<u>30BC</u>	<u>1000</u> <u>1700</u>
	Township	Range	Section	Tax lot(s)

Property Location: NE COR OCEAN VIEW AND ANVIL ROCK

General description of the property:

Existing Use: VACANT LAND

Topography: MILD SLOPE

General description of adjoining property:

Existing Uses: RESIDENTIAL DWELLINGS

Topography: FLAT

Community Development Department

800 Exchange, Suite 100 * Astoria, Oregon 97103 * (503) 325-8611 * FAX 503-338-3666

Time Limit on Approval. Site design review approvals shall be void after one (1) year unless a building permit has been issued and substantial construction has taken place per the Uniform Building Code.

The information contained in this application is in all respects true, complete, and correct to the best of my knowledge and I am aware of the additional costs that may accrue and agree to pay them as required above.

Applicant's Signature: _____

Date: _____

Owner's Signature: _____

Date: _____

The following is from the Clatsop County Land and Water Development and Use Ordinance #80-14:

Section 4.100. Site Design Review Overlay District (SDRO).

Section 4.102. Purpose. This section provides for the comprehensive review of proposed development permits in order to preserve scenic views and to promote attractive development of the site compatible with the natural and man-made environment.

Section 4.104. Types of Review. All development which is situated within the SDRO District Boundary that falls under the thresholds in this section shall be subject to the Criteria for Design Review Evaluation, Section 4.106 and Article 2, Procedures for Land Use Applications.

1. The following types of projects shall require review according to the Type II procedure, Section 2.020. For purposes of these types of Major projects, review by the Design Review Advisory Committee as described in Section 4.116, is required.
 - a. Any new residential development proposing to construct a dwelling as described in Section 1.030 (Dwelling Types).
 - b. Any new commercial development proposing to construct structures devoted to a commercial use.
 - c. Any new commercial development creating additional cumulative square footage beyond 20% of an existing building footprint.
 - d. Any new residential development creating additional cumulative square footage beyond 20% of an existing building footprint.
2. The following types of projects shall require design review according to the Type II Procedure, Section 2.020. For purposes of these types of Minor projects, review by the Design Review Advisory Committee as described in Section 4.116, is not required.
 - a. Accessory buildings in residential zones.
 - b. Projects that require building permits for exterior renovations on commercial and residential structures, including but not limited to new decks, awnings, alterations

PROJECT INFORMATION

Owners: Joe and Colleen Petrina John and Carol Hasenberg
3706 NE Davis 2104 NE 45th
Portland, OR 97232 Portland, OR 97213

Legal Description: Tax Lots 1600 and 1700 on Map 4N 10W 30BC, W.M., Clatsop
County, Oregon

Zoning: Arch Cape Community Residential Zone (AC- RCR)

PROPOSAL

The proposal is for design review of a 150' street extension along with associated utility extensions. The proposed street extension is intended to serve 4 parcels which are to be modified with lot line adjustments in order to access the proposed improvements. Although all of the properties are suitable for homes, no homes are proposed at this time.

Section B

Project Narrative

PROJECT INFORMATION

<u>Owners:</u>	Joe and Colleen Petrina 3706 NE Davis Portland, OR 97232	John and Carol Hasenberg 2104 NE 45 th Portland, OR 97213
<u>Legal Description:</u>	Tax Lots 1500, 1600 and 1700 on Map 4N 10W 30BC, W.M., Clatsop County, Oregon	
<u>Zoning:</u>	Arch Cape Community Residential Zone (AC- RCR)	

PROPOSAL

The proposal is for design review of a 150' street extension along with associated utility extensions. The proposed street extension is intended to serve 4 parcels which are to be modified with lot line adjustments in order to access the proposed improvements. Although all of the properties are suitable for homes, no homes are proposed at this time.

CONSISTENCY WITH CLATSOP COUNTY LAND AND WATER DEVELOPMENT USE ORDINANCE

SECTION 4.100. SITE DESIGN REVIEW OVERLAY DISTRICT (SDRO).

Section 4.102. Purpose.

This section provides for the comprehensive review of proposed development permits in order to preserve scenic views and to promote attractive development of the site compatible with the natural and man-made environment.

Response: The proposed development is in conformance with the purpose of the site design review overlay district. The proposed development consists only of a road extension and will have no effect on scenic views. The proposed roadway is intended to provide access to four existing lots. Although both of the right of ways are fully treed, the proposed route was chosen to protect an existing 42" Spruce tree that lies in the center of Anvil Rock Road at the intersection of Anvil Rock and Ocean View.

Section 4.104. Types of Review.

All development which is situated within the SDRO District Boundary that falls under the thresholds in this section shall be subject to the Criteria for Design Review Evaluation, Section 4.106 and Article 2, Procedures for Land Use Applications.

(1) The following types of projects shall require review according to the Type II Procedure, Section 2.020. For purposes of these types of Major projects, review by the Design Review Advisory Committee as described in Section 4.116, is required.

(A) Any new residential development proposing to construct a dwelling as described in Section 1.030 (Dwelling Types).

(B) Any new commercial development proposing to construct structures devoted to a commercial use.

(C) Any new commercial development creating additional cumulative square footage beyond 20% of an existing building footprint.

(D) Any new residential development creating additional cumulative square footage beyond 20% of an existing building footprint.

(2) The following types of projects shall require design review according to the Type II Procedure, Section 2.020. For purposes of these types of Minor projects, review by the Design Review Advisory Committee as described in Section 4.116, is not required.

(A) Accessory buildings in residential zones.

(B) Projects that require building permits for exterior renovations on commercial and residential structures; including but not limited to new decks, awnings, alterations to exterior treatments, and similar activities which do not increase the cumulative square footage more than 20% from an existing building footprint.

(C) Accessory buildings associated with commercial developments and containing no residential units.

(D) If the Community Development Director determines that a new accessory building may significantly impact adjoining properties with respect to location, bulk, compatibility, views, preservation of existing landscape, or other applicable criteria identified in Section 4.106, the application will be forwarded to the Design Review Advisory Committee for review.

Response: The project does not fall under any of these criteria under Types of Review so it is being processed under number (1) above per direction of the County Staff.

Section 4.106. Criteria for Design Review Evaluation.

In addition to the requirements of the Comprehensive Plan, other applicable sections of this Ordinance and other County Ordinances, the following minimum criteria will be considered in evaluating design review applications:

(1) Relation of Structures to Site. The location, height, bulk, shape, and arrangement of structures shall be in scale and compatible with the surroundings.

Response: The only proposed structures are underground utility structures which are compatible with the surroundings since they will not protrude above the finished surface of the ground. The proposed road improvements are also in scale and compatible with the surroundings as they will be the minimum improvements necessary to comply with the County Engineering and Fire Department requirements.

(2) Protection of Ocean Views. The blocking of scenic views of existing or proposed dwellings on adjacent lots and other lots that may be impacted shall be minimized in the construction of all structures.

Response: No views will be blocked by the proposed utility and road improvements.

(3) Preservation of Landscape. The landscape shall be preserved in its natural state to the maximum extent possible by minimizing tree, vegetation and soils removal. Cut and fill construction methods are discouraged. Roads and driveways should follow slope contours in a manner that prevents erosion and rapid discharge into natural drainages.

Response: The landscape shall be preserved to the maximum extent possible by only disturbing those areas necessary to construct the proposed improvements. Road grades will be engineered to follow the existing grade of the land and to avoid large cuts that could potentially damage adjacent tree roots.

(4) Buffering and Screening. In commercial zones, storage, loading, parking, service and similar accessory facilities shall be designed, located, buffered or screened to minimize adverse impacts on the site and neighboring properties.

Response: The project is not located in a commercial zone.

(5) Vehicle Circulation and Parking. The location of access points to the site, the interior circulation pattern and the arrangement of parking in commercially zoned areas shall be designed to maximize safety and convenience and to be compatible with proposed and adjacent buildings. The number of vehicular access points shall be minimized

Response: The proposed roadway improvements are intended to minimize unnecessary road construction as well as access points. As designed the proposed roadway will provide access to the two northerly lots through the two southerly lots. This avoids having to construct additional roadway improvements in Anvil Rock and Lion Rock. Without this access, another 400 feet of road

improvements would need to be constructed. The proposed hammered shown at the access point for the Northerly lots provides a fire department approved turnaround at the dead end of the improvements.

(6) Utility Service. Electric, telephone and other utility lines shall be placed underground.

Response: These services would be placed underground as requested by this section.

(7) Signs. The size, location, design, material and lighting of all exterior signs shall not detract from the design of proposed or existing buildings, structures or landscaping and shall not obstruct scenic views from adjacent properties.

Response: No signs are proposed.

(8) Surface Water Drainage. Special attention shall be given to proper surface water drainage from the site so that it will not adversely affect adjacent properties or the natural or public storm drainage system.

Response: All proposed surface water drainage will be directed so as not to adversely affect adjoining properties. The proposed plan shall be designed to direct storm water into the existing ditch drainages adjacent to the existing roadway.

Section 4.108. Application Procedure.

The following procedure shall be followed when applying for design review approval:

(1) Pre-application Conference. The applicant shall discuss the proposed development with the staff of the Clatsop County Department of Community Development in a preapplication conference pursuant to Section 2.045.

Response: The applicants representative met with County Staff to discuss the development.

(2) Following the pre-application conference, the applicant shall file with the Planning Director a design review plan, which shall include the following:

(A) A site plan, drawn to scale, showing the proposed layout of all structures and other improvements, including where appropriate, driveways, pedestrian walks, landscaped areas, fences, walls, off-street parking and loading areas. The site plan shall indicate how utility service, sewage, and drainage are to be provided and shall show cuts and fills proposed. The site plan shall indicate, where appropriate, the location of entrances and exits and the direction of traffic flow into and out of off-street parking and loading areas for commercial uses, the location of each parking space, each loading berth, areas for turning and maneuvering vehicles and each sign for each commercial use.

Response: Attached with this application is a site plan showing the proposed road and utility improvements. No buildings are proposed at this time.

(B) The plot plan shall show the relationship of the proposed structure with existing structures or potential structure sites on adjacent lots and lots where the ocean view may be blocked by the structure.

Response: No structures are proposed. The proposed road improvements are shown on the attached plans.

(C) Elevations of the structure(s) illustrating scenic views and how the structure may block views.

Response: No structures are proposed.

(D) Plot plan and elevation showing relationship of new construction to existing construction including scenic views.

Response: The proposed road and utility improvements are at ground-surface level so no scenic views will be affected.

Section 4.110. Plan Evaluation Procedure.

The following procedure shall be followed in processing a design review plan:

(1) Upon receipt of a design review application and plan, the Community Development Director will examine it to determine whether it is complete (and consistent with the requirements of this section). If found to be complete, the Community Development Director shall determine whether the application will require Minor or Major Review under Section 4.104(1-2)(Types of Review). If the request is considered a Major Review under Section 4.104(1)(Types of Review), the director shall forward the application and plans to the Design Review Advisory Committee for its review and recommendation.

Response: The applicant understands this procedure.

(2) The Design Review Advisory Committee will review the application and plan at its first regularly scheduled meeting and shall make a written recommendation to the Planning Director within 21 days after receipt of the application.

Response: The applicant understands this procedure.

(3) The Community Development Director may approve the design plan, disapprove it or approve it with such modifications and conditions as may be required to make it consistent with the Comprehensive Plan, with the criteria listed in this Section and with other Sections of this Ordinance.

Response: The applicant understands this procedure.

(4) A decision on a design review plan shall include written conditions, if any, and findings and conclusions. The findings shall address the relationships between the plan and the policies and criteria listed in the Comprehensive Plan, this Section and other Sections of this Ordinance.

Response: The applicant understands this procedure.

(5) The Community Development Director's decision shall be mailed within seven (7) working days to the applicant and to owners of land entitled to notification. The same mail, when appropriate, shall include notice of the manner in which an appeal of the decision may be made.

Response: The applicant understands this procedure.

(6) Appeals. See Section 2.230 for appeal procedure.

Response: The applicant understands this procedure.

Section 4.112. Modifications of Approved Design Review Plan.

Proposed changes shall be submitted in writing to the Community Development Director for approval. Minor changes requested by the applicant may be approved if such changes are consistent with the purposes and general character of the original approved application. All the modifications shall be processed in the same manner as the original application.

Response: The applicant understands this procedure.

Section 4.114. Time Limit on Approval.

Site design approvals shall be void after one (1) year unless a building permit has been issued and substantial construction has taken place per the Uniform Building Code. However, the County may, at the discretion of the Community Development Director, extend authorization for an additional year upon request, provided such request is submitted in writing not less than 10 days nor more than 30 days prior to expiration of the permit.

Response: The applicant understands this procedure.

Section 4.116. Design Review Advisory Committee.

The Southwest Coastal Citizens Advisory Committee (CAC) shall serve as an Design Review Advisory Committee for Arch Cape and will review development proposals and make recommendations to the Community Development Director and Planning Commission concerning the design and scenic view aspects of proposed developments.

(1) Meetings; Records. The committee shall hold regular meetings on the first and third Wednesday of each month at the Arch Cape Fire Hall or designated sites. However, meetings may be canceled when there are no design review plans submitted for review by the Committee. The Chairman shall be responsible for posting cancellation notices at the designated sites and notifying the Clatsop County Department of Community Development at least 48 hours prior to the meeting. The deliberations and proceedings of the committee shall be public. The committee shall keep minutes of its meetings and such minutes shall be public record.

Response: The applicant understands this procedure.

(2) The Design Review Advisory Committee shall submit their recommendations to the Community Development Director within seven (7) working days of their decision.

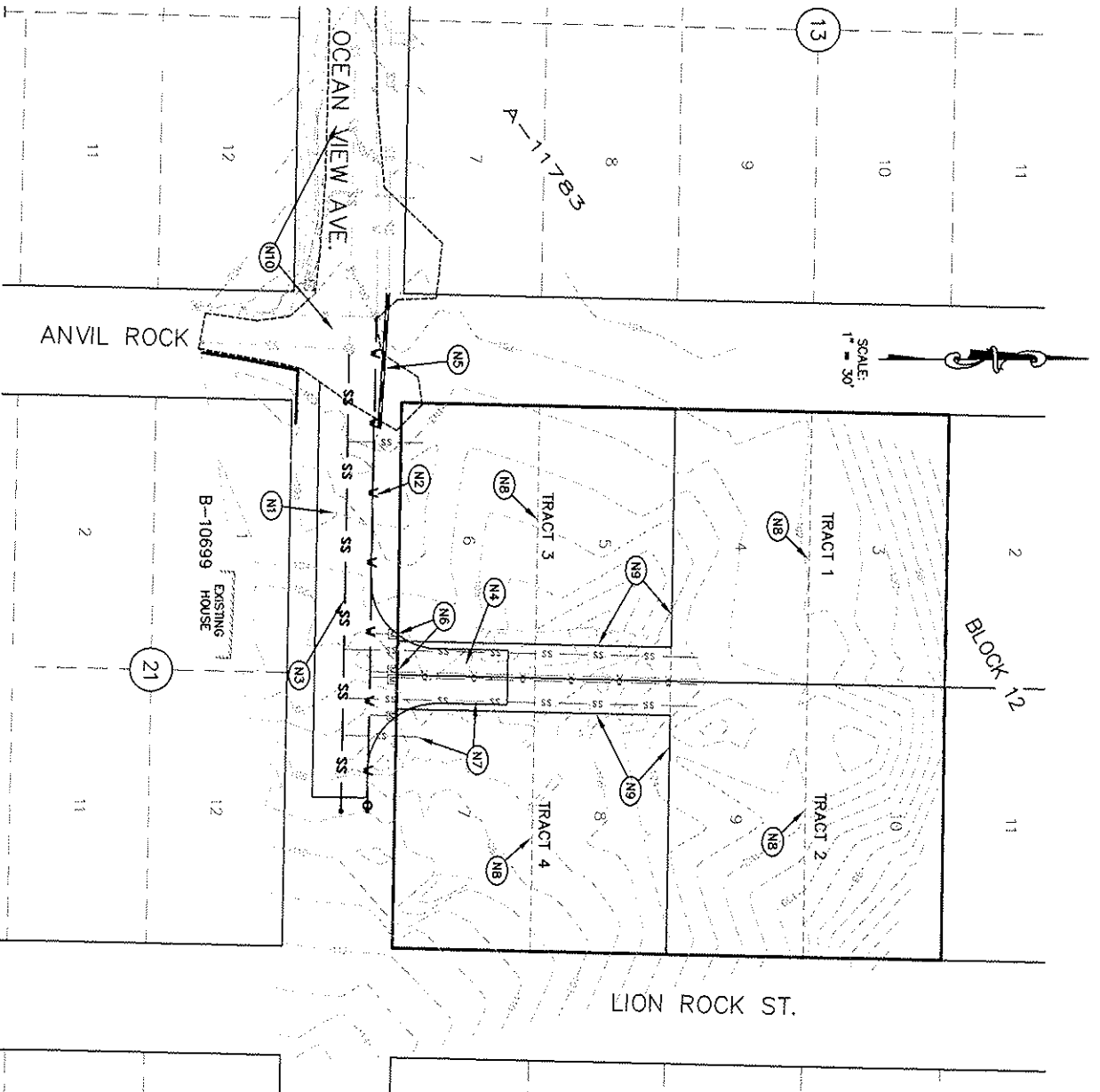
Response: The applicant understands this procedure.

CONCLUSION

The proposed road improvements are consistent with the Design Review Overlay District standards. We are therefore requesting approval of Application as submitted.

DESIGN REVIEW SITE PLAN

PROPOSED ROADWAY EXTENSION SERVING FOUR LOTS



NOTES

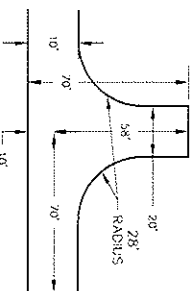
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- (N2) PROPOSED PUBLIC WATER MAIN
- (N3) PROPOSED PUBLIC SANITARY MAIN
- (N4) PROPOSED FIRE APPARATUS TURNAROUND
- (N5) PROPOSED STORM LINE/CULVERT
- (N6) PROPOSED WATER SERVICE (TYP)
- (N7) PROPOSED SANITARY LATERAL (TYP)
- (N8) EXISTING PROPERTY LINES
- (N9) PROPOSED PROPERTY LINES (PER A PROPERTY LINE ADJUSTMENT)
- (N10) EXISTING GRAVEL ROADWAY

LEGEND

- EXISTING EDGE OF GRAVEL
- EXISTING WATER LINE
- EXISTING STORM LINE
- EXISTING SANITARY LINE
- EXISTING GROUND CONTOUR
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY CLEANOUT
- PROPOSED EDGE OF GRAVEL
- PROPOSED SANITARY CLEANOUT
- PROPOSED SANITARY MANHOLE
- PROPOSED STORM LINE
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- PROPOSED SANITARY LATERAL

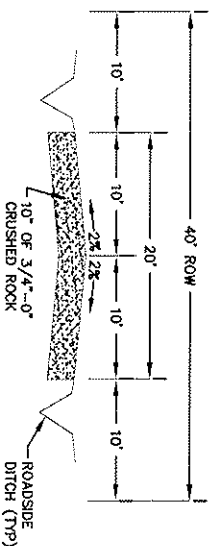
FIRE APPARATUS TURNAROUND

NTS



PUBLIC STREET TYPICAL SECTION

NTS



DRAWING NAME: 8-071 DATE OF PLOT: 3/2/09

Section C

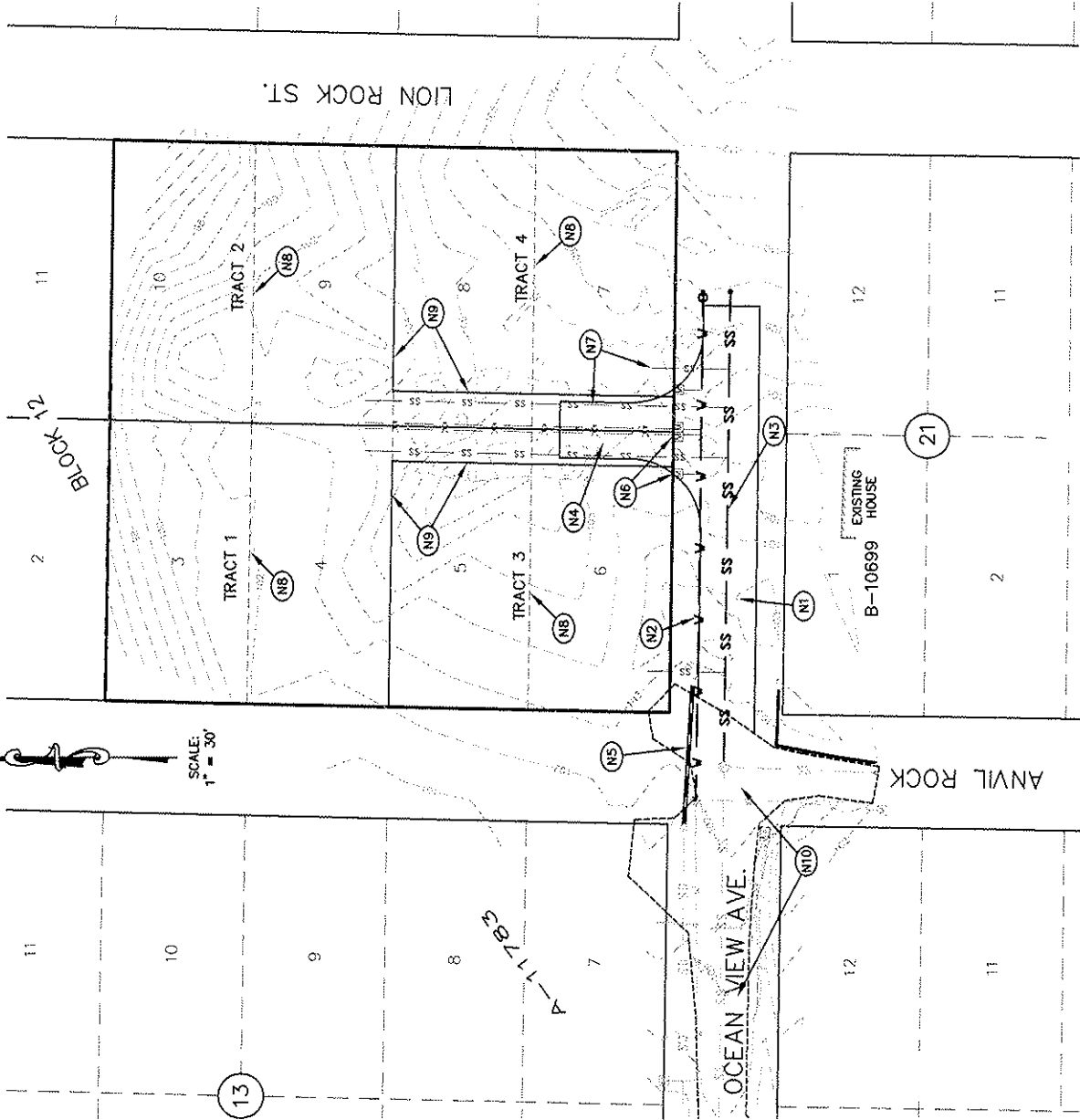
Reduced Preliminary Plans and Tax Map

DESIGN REVIEW SITE PLAN

PROPOSED ROADWAY EXTENSION SERVING FOUR LOTS



SCALE:
1" = 30'

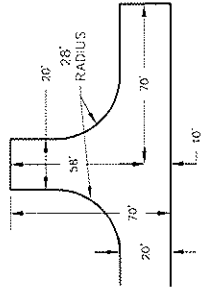


NOTES

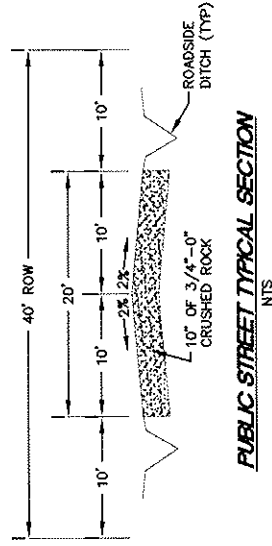
- (N1) PROPOSED PUBLIC STREET
- (N2) PROPOSED PUBLIC WATER MAIN
- (N3) PROPOSED PUBLIC SANITARY MAIN
- (N4) PROPOSED FIRE APPARATUS TURNAROUND
- (N5) PROPOSED STORM LINE/CULVERT
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- (N9) PROPOSED PROPERTY LINES (PER A PROPERTY LINE ADJUSTMENT)
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LEGEND

- EXISTING EDGE OF GRAVEL
- EXISTING WATER LINE
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- PROPOSED WATER METER
- PROPOSED WATER LINE
- PROPOSED WATER SERVICE
- PROPOSED SANITARY LATERAL



FIRE APPARATUS TURNAROUND
NTS



PUBLIC STREET TYPICAL SECTION
NTS



DRAWING NAME: 8-071 DATE OF PLOT: 3/2/09

Scale 1:1200

AD 1983/91 HARN StatePlane Oregon North FIPS 3601 Int'l Feet

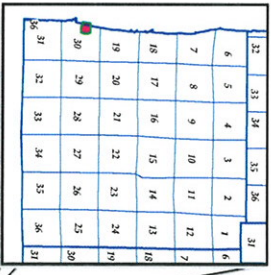
Accounts.

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This study was produced for *our* *own* *purposes* only using *Chattahoochee* *County* *data*. The *data* is maintained by *Chattahoochee* *County* to support its job *estimated* as *hundreds* *Chattahoochee* *County* is not responsible for any *map* *errors*, possible *misuse*, or *misinterpretation*.

January 05, 2009





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CLATSOP COUNTY
Trans. & Dvlp. Svcs., Planning Division
800 Exchange Street, Suite 100
Astoria, OR 97103

www.co.clatsop.or.us
ph: 503-325-8611
fx: 503-338-3666
em: comdev@co.clatsop.or.us



April 15, 2009

SOUTHWEST COASTAL DESIGN REVIEW / CITIZEN ADVISORY COMMITTEE

CRITERIA EVALUATION SHEET – DESIGN REVIEW

Applicant:	<u>Michael Heumann</u> <u>6450 SW Orchid St</u> <u>Portland, OR 97219</u>
Owner:	<u>Michael Heumann, et. al.</u> <u>6450 SW Orchid St</u> <u>Portland, OR 97219-4950</u>
Property Description:	<u>T4N, R10W, Sec 30CA, TL 1900</u>

CRITERIA

1. Relation of Structure to Site:

2. Protection of Ocean Views:

3. Preservation of Landscape:

4. Buffering and Screening (For Commercial Uses):

5. Vehicle Circulation and Parking:

6. Utility Service:

7. Signs:

8. Surface Water Drainage:

9. Other Criteria for Evaluation:

The above-entitled matter came before the Southwest Coastal Design Review and Citizen Advisory Committee at its April 15, 2009 meeting for a public hearing and consideration of proposal.

Based upon the evidence and testimony provided by the applicant, planning department staff, and the citizens of the area, this committee hereby recommends this application be: { *Approved, Conditionally Approved, Denied* }

Dated this ____ day of April 2009

The Southwest Coastal Design Review /
Citizen Advisory Committee

George Cerelli, Chairman Clatsop County
SW Coastal DR/CA Committee

Clatsop County Community Development
Department
800 Exchange Street, Suite 100,
Astoria, OR 97103

ph: 503-325-8611
fx: 503-338-3666
em: comdev@co.clatsop.or.us
www.co.clatsop.or.us



PUBLIC NOTICE FOR AN ISSUE BEFORE THE TRANSPORTATION & DEVELOPMENT DIRECTOR

In the matter of a Minor Design Review application for an Accessory Structure (Foot-Bridge) submitted by Michael Huemann on behalf of the owners Moriarty&Kwitman / Brown / Heumann / Bronfman / Ellenberg / katz. The legal description of the Parcel is T4N, R10W, § 30CA, TL 01900.

*(For more information see **Page 2** of this notice)*

DATE OF DECISION:	April 24, 2009
COMMENT PERIOD:	April 7, 2009 – April 22, 2009
DESIGN REVIEW HEARING:	April 15, 2009, 6pm Arch Cape Fire Hall
SEND COMMENTS TO:	Public Service Building, 800 Exchange Street, Suite 100 Astoria, Oregon 97103
CONTACT PERSON:	Michael Weston II, Clatsop County Planner

You are receiving this notice because you either own property within 250 feet of the property that serves as the subject of the land use application described in this letter or you are considered to be an affected state or federal agency, local government, or special district. A vicinity map for the subject property is attached.

NOTICE IS HEREBY GIVEN that Clatsop County's Transportation & Development Services have received the land use application described in this letter. Pursuant to section 4.100 of the Clatsop County Land Water Development and Use Ordinance a **Public Hearing is scheduled before the Design Review Committee on Wednesday, April 15, 2009** and; Pursuant to Section 2.020 of the Clatsop County Land and Water Development and Use Ordinance (LWDUO), the Department Director is scheduled to render a decision based on evidence and testimony on Friday, April 24, 2009 at the Public Service Building, 800 Exchange St., Suite 100, Astoria, OR 97103.

All interested persons are invited to submit testimony & evidence in writing by addressing a letter to the Clatsop County Transportation & Development Director, 800 Exchange Street, **Suite 100**, Astoria, OR 97103. Written comments may also be sent via FAX to [503-338-3666](tel:5033383666) or via email to comdev@co.clatsop.or.us. Written comments must be received in this office no later than **4PM on Wednesday April 15, 2009** in order to be considered at the **Public Hearing** and no later than **Wednesday, April 22, 2009** in order to be considered in the **Decision**.

NOTE: Failure of an issue to be raised in a hearing, in person or by letter, or failure to provide statements or evidence sufficient to afford the decision maker an opportunity to respond to the issue precludes an appeal based on that issue.

THE LAND USE APPLICATION DESCRIBED:

The applicant is requesting Design Review approval for the placement of a footbridge across Arch Cape Creek. The current footbridge is in a state of disrepair and needs to be replaced. The applicant is proposing to construct two footings on each side to support the bridge. In addition the applicant is proposing to cut a couple trees along the bank that are leaning toward the bridge and will likely fall in the near future. Removal of trees is not a permissible use in the Arch Cape Rural Community unless it is in association with an approved development. Furthermore the trees are located in a protected Riparian Corridor, which may require some mitigation.

For More Details regarding Location and Design see pages 3 - 5.

The following criteria from Clatsop County Land and Water Development and Use Ordinance (LWDUO) apply to the request: § 1.010-1.050 (Definitions), 2.020 (Type II Procedure), 2.120 (Procedure for Mailed Notice), 2.230-2.260 (Request for Review/Appeal et al), 3.060 (Arch Cape Rural Community Residential Zone), 4.100 (Site Development Review Overlay District {SDRO}), and Clatsop County's Standards Document Chapters 1-4.

In addition, the following elements of the Clatsop County Comprehensive Plan apply to the request: Goal 1 (Citizen Involvement), Goal 2 (Land Use Planning), Goal 5 (Natural Resources, Scenic and Historic Areas, and Open Spaces), Goal 6 (Air, Water and Land Resources Quality), Goal 8 (Recreational Needs), Goal 9 (Economy), Goal 10 (Housing), Goal 11 (Public Facilities and Services), Goal 12 (Transportation), Goal 13 (Energy Conservation), Goal 16 (Estuarine Resources), and the Southwest Coastal Community Plan.

These documents are available for review at the Clatsop County Community Development Department office, 800 Exchange Street, Suite 100, Astoria, Oregon and on-line at the county's website, www.co.clatsop.or.us.

A copy of the application, all documents and evidence submitted by or on behalf of the applicant and applicable criteria are available for inspection at the Transportation & Development Department Office during normal business hours (M-F, 8-5) at no cost and will be provided at reasonable cost.

If you have questions about this land use matter or need more information, please contact Michael Weston II, Clatsop County Planner, at (503) 325-8611 or via email at mweston@co.clatsop.or.us.

Notice to Mortgagee, Lien Holder, Vendor or Seller: ORS Chapter 215 requires that if you receive this notice it must promptly be forwarded to the purchaser.

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-

ARTISAN ENGINEERING, LLC

325 W. 13th Avenue
Eugene, Oregon 97401-3402
Tel (541) 338-9488 • Fax (541) 338-9483
www.artisanengineering.com

Job No.: 8350.01

Page: 1 of 2

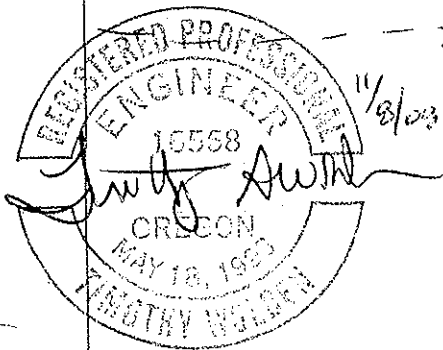
By: TAW

Date: 11/8/03

Project: BRIDGE @ 32069 E. Shingle Mill Rd

NOTE FIND PL & place Bridge
at least 5 feet from PL

E. SHINGLE MILL ROAD



EXPIRATION DATE: 6/10

BRIDGE
FOOTING

TOP OF
BANK

APPROX
50' ±
SPAN

POWER POLE
TELCO
RISER

PRE-FABRICATED BRIDGE
BY OTHERS
CREEK BOTTOM ≈ 32 ft
≈ 9' BELOW BRIDGE
DECK

TOP OF
BANK

SEE 2/2 FOR
FOOTING DETAILS
SIMILAR @ NORTH BN

APPROX BRIDGE/SITE PLAN

1/16" = 1' 0"



FIXED END
(NORTH END)

EXPANSION END
(SOUTH END)

PLAN VIEW

52'-1"

PEDESTRIAN BRIDGE DRAWINGS
 5871-100 LAYOUT AND END DETAILS
 5871-200 PLAN, ELEVATION & SECTION VIEWS
 5871-210 WELD DETAILS
 5871-300 TRANSITION PLATE
 5871-310 FIXED END FOOTING DETAILS
 5871-320 EXPANSION END FOOTING DETAILS

FIXED END

EXPANSION END

4'x52' PEDESTRIAN BRIDGE
 LAYOUT AND END DETAILS
 MICHAEL HEUMANN
 PORTLAND, OREGON

TOPPER
 INDUSTRIES INC.
 P. O. BOX 2439 360-687-1232 800-332-0008
 BATTLE GROUND, WA 98604 FAX 360-687-0345 3625

PROPRIETARY DESIGNS AND DATA THAT ARE
 THE SOLE PROPERTY OF TOPPER INDUSTRIES, INC.
 ARE INCLUDED IN THIS DRAWING
 DATA AND INFORMATION CONTAINED HEREIN SHALL
 BE THE PROPERTY OF TOPPER INDUSTRIES, INC. AND
 NOT BE USED FOR ANY PURPOSE EXCEPT AS SPECIFICALLY
 AUTHORIZED BY TOPPER INDUSTRIES, INC.

0	2/4/08	JS	SR	SL	INITIAL RELEASE
NO.	DATE	BY	CHK	CHK	REVISION DESCRIPTION



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Development Permit

Clatsop County Planning and Development
800 Exchange St Ste 100
Astoria, OR 97103

Ph. (503) 325 - 8611 Fax (503) 338 - 3666

For Department Use Only

Permit #: 20090107
Permit Type: Type II
Entry Date: 3/26/2009
Entered By: Michael Weston
Assigned To:
Permit Status: Pending

Permit Timeline

User	Status	Date
Michael Weston	Entered	03/26/2009
Michael Weston	Deemed Comple	03/26/2009

Proposed Use

Proposed Use: **Design Review**

Description: Foot Bridge over Arch Cape Creek

Zone: **AC-RCR**

Overlay District: **SDRO**

Owner/Project Location

Owner: Name: **HEUMANN, MICHAEL**

Ph. #: (503) 249-1499

Address: 6450 SW Orchid St

Cell: (503) 880-2226

City, State, Zip: Portland, OR 97219-4950

Fax: () -

Situs Address: **32068 E Shingle Mill Ln** T R S Q S Qq S Taxlot

City: **Arch Cape** State: **OREGON** 4 10 30 C A 01900

Owner: Name: **Moriarty/Kwitman 1/6 Brown 1/6 & Heumann 1/6 B**

Ph. #: () -

Address: 6450 SW Orchid St

Cell: () -

City, State, Zip: Portland, OR 97219-4950

Fax: () -

Situs Address: **32068 E Shingle Mill Ln** T R S Q S Qq S Taxlot

City: **Arch Cape** State: **OREGON** 4 10 30 C A 01900

Applicant/Agent

Applicant:

Agent: Name/Type:

Ph. #: () -

Address:

Cell: () -

City, State, Zip:

Fax: () -

Fees

Fee Type:

Planning/Development

*Design Review (Minor)
Development Permit*

\$554.00

79.00

Permit Fee Total:

\$633.00

Total: \$633.00

Receipt

Payor Name:

Moriarty/Kwitman 1/6 Brown 1/6

Pymnt Type

Credit Card

Check #

Pymnt Date

03/26/2009

Pymnt Amount:

\$633.00

Balance Due: \$0.00

Signatures

1. For Commercial and industrial uses, include parking and loading plan, sign plan and erosion control plan.
2. For residential and other uses, include an erosion control plan.
3. Review attached applicant's statement and sign below.

I have read and understand the attached APPLICANT'S STATEMENT and agree to abide by the terms thereof.

Applicant Signature: _____

Date: _____

Owner Signature: _____

Date: _____

Agent Signature: _____

Date: _____



Development Permit

For Department Use Only

Clatsop County Planning and Development
800 Exchange St Ste 100
Astoria, OR 97103

Ph. (503) 325 - 8611 Fax (503) 338 - 3666

Permit #: 20090108

Zoning District Requirements

Property Access Info.

Access to Property:
County Permit Required?
State Permit Required?

Property Information

Compliance/Permit Requirements

Clatsop County Compliance

Except as noted, the Clatsop County Community Development Department finds the proposed use(s)/action(s) in compliance with the Clatsop County Land & Water Development and Use Ordinance and with the Clatsop County Comprehensive Plan.

The evaluation of the land parcels outlined above is based on the information presented at this time, standards provided in the Clatsop County Land & Water Development & Use Ordinance, and policies of the Comprehensive plan, and the Zoning/ Comprehensive Plan Map.

*The applicant or property owner must comply with the conditions noted below and on the attached applicants statement.
This permit is not valid unless the conditions are met.*

Entered by: Michael Weston

Entered Date: 03/26/2009

Applicants Signature: _____

Date: _____

Clatsop County Authorization: _____

A handwritten signature in dark ink, appearing to read "Michael Weston".

Date: _____



Development Permit

Applicant's Statement

1. *Pertaining to the subject property described, I hereby declare that I am the legal owner of record, or an agent having the consent of the legal owner of record, and am authorized to make the application for a Development Permit/Action so as to obtain the following permits: Building, Sanitation, U.S. Army Corps of Engineers, Oregon Division of State Lands, Oregon Department of Transportation, Oregon Department of Parks and Recreation, or a Clatsop County Road Approach. I shall obtain any and all necessary permits before I do any of the proposed uses or activities. The statements within this application are true and correct to the best of my knowledge and belief. I understand that if the permit authorized was based on false statements, or it is determined that I have failed to fully comply with all conditions attached to and made a part of this permit, this permit approval is hereby revoked and null and void.*
2. *It is expressly made a condition of this permit that I at all times fully abide by all State, Federal, and local laws, rules, and regulations governing my activities conducted or planned pursuant to this permit.*
3. *As a condition for issuing this Development Permit/Action, the undersigned agrees that he/she will hold Clatsop County harmless from and indemnify the County for any and all liabilities to the undersigned, his/her property or any other person or property, that might arise from any and all claims, damages, actions, causes of action or suits of any kind or nature whatsoever, which might result from the undersign's failure to build, improve or maintain roads which serve as access to the subject property or from the undersign's failure to fully abide by any of the conditions included in or attached to this permit.*
4. **WAIVER OF VESTED RIGHTS DURING APPEAL PERIOD FOR ZONING AUTHORIZATIONS.**
I have been advised that this Land and Water Development Permit/Action by the Clatsop County Community Development Director may be appealed within twelve (12) calendar days of the date of permit issuance and authorization (note: if the twelfth day is a Saturday, Sunday or legal holiday, the appeal period lasts until the end of the next day which is not a Saturday, Sunday or legal holiday). I understand that if the approval authorized by the County and referenced above is reversed on appeal, then the authorization granted prior to the end of the appeal period will be null and void. I further understand and consent to the fact that any actions taken by me in reliance upon the authorization granted during the appeal period shall be at my own risk, and that I hereby agree not to attempt to hold Clatsop County responsible for consequences or damages in the event that removal of improvements constructed during the appeal period is ordered because an appeal is sustained.
5. *I am aware that failure to abide by applicable Clatsop County Land and Water Development and Use Ordinance 80-14, as amended and Standards Document regulations may result in revocation of this permit or enforcement action by the County to resolve a violation and that enforcement action may result in levying of a fine.*
6. *I understand that a change in use, no matter how insignificant, may not be authorized under this permit and may require a new Development Permit/Action (check first, with the Clatsop County Community Development Department).*
7. *I understand that this Development Permit/Action expires 180 days from the date of issuance unless substantial construction or action pursuant to the permit has taken place. Upon expiration, a new development permit must be obtained.*



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**APPLICATION FOR
DESIGN REVIEW**

Fee: **Minor Construction - \$554.00** (see attached page for explanation)

APPLICANT: Michael Heumann

Phone: **503-249-1499**

Address: **32068 East Shingle Mill Lane
Arch Cape, OR 97102**

OWNER: Michael Heumann (and five others) Phone: **503-249-1499**

Address **2402 NE 26th Ave.
Portland, OR 97212**

503 249-2226

AGENT: Same

Phone:

Address:

Proposed Development: Replacement of existing pedestrian foot bridge (sole access to the house from the road) with another pedestrian foot bridge of the same height and width. The replacement bridge will be seven feet longer to ensure that footings are further away from the creek bank.

Present Zoning: RSA-SFR Overlay District: SDRO-FHO

Lot Size: 0.80 Acre

Property Description:	T4N	R10W	30CA	1900
	Township	Range	Section	Tax lot(s)

Property Location: 32068 East Shingle Mill Lane Corner of Fourth and Webb Ave.

General description of the property:

Existing Use: Single family residence.

Topography: The existing house is located on flat land adjacent to the creek (on the south side), with a hill rising to the east, behind the house. There is a small, unnamed creek to the south of the house, and further south there is a hill rising to the adjoining undeveloped property.

General description of adjoining property: To the east of the property is undeveloped land owned by Arch Cape Water District. To the south is undeveloped land privately owned. Arch Cape Creek is on the north side of the property and bends southward just west of the property. To the north (across Arch Cape Creek) is East Shingle Mill Lane with one house to the east and a house to the west.

Existing Uses: The occupied properties across the creek are both single-family residences. The adjacent properties on the east and south are undeveloped.

Topography: The undeveloped lands to the east and south are at higher elevation than our house. The nearest residences are across Arch Cape Creek and essentially at the same elevation.

Community Development Department
800 Exchange, Suite 100 * Astoria, Oregon 97103 * (503) 325-8611 * FAX 503-338-3666

Time Limit on Approval. Site design review approvals shall be void after one (1) year unless a building permit has been issued and substantial construction has taken place per the Uniform Building Code.

The information contained in this application is in all respects true, complete, and correct to the best of my knowledge and I am aware of the additional costs that may accrue and agree to pay them as required above.

Applicant's Signature: _____ Date: _____

Owner's Signature: _____ Date: _____

The following is from the Clatsop County Land and Water Development and Use Ordinance #80-14:

Section 4.100. Site Design Review Overlay District (/SDRO).

Section 4.102. Purpose. This section provides for the comprehensive review of proposed development permits in order to preserve scenic views and to promote attractive development of the site compatible with the natural and man-made environment.

Section 4.104. Types of Review. All development which is situated within the /SDRO District Boundary that falls under the thresholds in this section shall be subject to the Criteria for Design Review Evaluation, Section 4.106 and Article 2, Procedures for Land Use Applications.

1. The following types of projects shall require review according to the Type II procedure,

Section 2.020. For purposes of these types of Major projects, review by the Design Review Advisory Committee as described in Section 4.116, is required.

a. Any new residential development proposing to construct a dwelling as described in Section 1.030 (Dwelling Types).

b. Any new commercial development proposing to construct structures devoted to a commercial use.

- c. Any new commercial development creating additional cumulative square footage beyond 20% of an existing building footprint.
- d. Any new residential development creating additional cumulative square footage beyond 20% of an existing building footprint.
- 2. The following types of projects shall require design review according to the Type II Procedure, Section 2.020. For purposes of these types of Minor projects, review by the Design Review Advisory Committee as described in Section 4.116, is not required.
 - a. Accessory buildings in residential zones.
 - b. Projects that require building permits for exterior renovations on commercial and residential structures; including but not limited to new decks, awnings, alterations to exterior treatments, and similar activities which do not increase the cumulative square footage more than 20% from an existing building footprint.**
 - c. Accessory buildings associated with commercial developments and containing no residential units.
 - d. If the Planning Director determines that a new accessory building may significantly impact adjoining properties with respect to location, bulk, compatibility, views, preservation of existing landscape, or other applicable criteria identified in Section 4.106, the application will be forwarded to the Design Review Advisory Committee for review.

**Please address the following eight (8) criteria on a separate sheet of paper:
(See Attached Criteria.)**

Section 4.106. Criteria for Design Review Evaluation. In addition to the requirements of the Comprehensive Plan, other applicable sections of this Ordinance and other County Ordinances, the following minimum criteria will be considered in evaluating design review applications:

1. Relation of Structures to Site. The location, height, bulk, shape, and arrangement of structures shall be in scale and compatible with the surroundings.
2. Protection of Ocean Views. The blocking of scenic views of existing or proposed dwellings on adjacent lots and other lots that may be impacted shall be minimized in the construction of all structures.
3. Preservation of Landscape. The landscape shall be preserved in its natural state to the maximum extent possible by minimizing tree, vegetation and soils removal. Cut and fill construction methods are discouraged. Roads and driveways should follow slope contours in a manner that prevents erosion and rapid discharge into natural drainages.
4. Buffering and Screening. In commercial zones, storage, loading, parking, service and similar accessory facilities shall be designed, located, buffered or screened to minimize adverse impacts on the site and neighboring properties.
5. Vehicle Circulation and Parking. The location of access points to the site, the interior circulation pattern and the arrangement of parking in commercially zoned areas shall be designed to maximize safety and convenience and to be compatible with proposed and adjacent buildings. The number of vehicular access points shall be minimized.
6. Utility Service. Electric, telephone and other utility lines shall be placed underground.

7. Signs. The size, location, design, material and lighting of all exterior signs shall not detract from the design of proposed or existing buildings, structures or landscaping and shall not obstruct scenic views from adjacent properties.
8. Surface Water Drainage. Special attention shall be given to proper surface water drainage from the site so that it will not adversely affect adjacent properties or the natural or public storm drainage system.

The following is provided for your convenience. You need not address the following.

Section 4.108. Application Procedure. The following procedure shall be followed when applying for design review approval:

1. Pre-application Conference. The applicant shall discuss the proposed development with the staff of the Clatsop County Department of Planning and Development in a preapplication conference pursuant to Section 2.045.
2. Following the pre-application conference, the applicant shall file with the Planning Director a design review plan, which shall include the following:
 - a. A site plan, drawn to scale, showing the proposed layout of all structures and other improvements, including where appropriate, driveways, pedestrian walks, landscaped areas, fences, walls, off-street parking and loading areas. The site plan shall indicate how utility service, sewage, and drainage are to be provided and shall show cuts and fills proposed. The site plan shall indicate, where appropriate, the location of entrances and exits and the direction of traffic flow into and out of off-street parking and loading areas for commercial uses, the location of each parking space, each loading berth, areas for turning and maneuvering vehicles and each sign for each commercial use.
 - b. The plot plan shall show the relationship of the proposed structure with existing structures or potential structure sites on adjacent lots and lots where the ocean view may be blocked by the structure.
 - c. Elevations of the structure(s) illustrating scenic views and how the structure may block views.
 - d. Plot plan and elevation showing relationship of new construction to existing construction including scenic views.

Section 4.110. Plan Evaluation Procedure. The following procedure shall be followed in processing a design review plan:

1. Upon receipt of a design review application and plan, the Planning Director will examine it to determine whether it is complete (and consistent with the requirements of this Section). If found to be complete, the Planning Director shall determine whether the application will require Minor or Major Review under Section 4.104(1-2)(Types of Review). If the request is considered a Major Review under Section 4.104(1)(Types of Review), the Director shall forward the application and plans to the Design Review Advisory Committee for its review and recommendation.
2. The Design Review Advisory Committee will review the application and plan at its first regularly scheduled meeting and shall make a written recommendation to the Planning

Director within 21 days after receipt of the application.

3. The Planning Director may approve the design plan, disapprove it or approve it with such modifications and conditions as may be required to make it consistent with the Comprehensive Plan, with the criteria listed in this Section and with other Sections of this Ordinance.

4. A decision on a design review plan shall include written conditions, if any, and findings and conclusions. The findings shall address the relationships between the plan and the policies and criteria listed in the Comprehensive Plan, this Section and other Sections of this Ordinance.

5. The Planning Director's decision shall be mailed within seven (7) working days to the applicant and to owners of land entitled to notification. The same mail, when appropriate, shall include notice of the manner in which an appeal of the decision may be made.

6. Appeals. See Section 2.230 for appeal procedure.

Section 4.112. Modifications of Approved Design Review Plan. Proposed changes shall be submitted in writing to the Planning Director for approval. Minor changes requested by the applicant may be approved if such changes are consistent with the purposes and general character of the original approved application. All other modifications shall be processed in the same manner as the original application.

Section 4.114. Time Limit on Approval. Site design approvals shall be void after one (1) year unless a building permit has been issued and substantial construction has taken place per the Uniform Building Code. However, the County may, at the discretion of the Planning Director, extend authorization for an additional year upon request, provided such request is submitted in writing not less than 10 days nor more than 30 days prior to expiration of the permit.

Section 4.116. Design Review Advisory Committee. The Southwest Coastal Citizens Advisory Committee (CAC) shall serve as a Design Review Advisory Committee for Arch Cape and will review development proposals and make recommendations to the Planning Director and Planning Commission concerning the design and scenic view aspects of proposed developments.

1. Meetings; Records. The committee shall hold regular meetings on the first and third Wednesday of each month at the Arch Cape Fire Hall or designated sites. However, meetings may be canceled when there are no design review plans submitted for review by the Committee. The Chairman shall be responsible for posting cancellation notices at the designated sites and notifying the Clatsop County Department of Planning and Development at least 48 hours prior to the meeting. The deliberations and proceedings of the committee shall be public. The committee shall keep minutes of its meetings and such minutes shall be public record.

2. The Design Review Advisory Committee shall submit their recommendations to the Planning Director within seven (7) working days of their decision.

Eight Criteria For Design Review Evaluation
For Bridge Replacement at 32068 East Shingle Mill Lane, Arch Cape, OR

1. Relation of Structures to Site. The location, height, bulk, shape, and arrangement of structures shall be in scale and compatible with the surroundings.

This project consists of replacing the existing pedestrian footbridge that is the sole access to the property. The height and width of the new bridge will be the same as the existing bridge (48" high and 48" wide). The length of the new bridge will be increased from 45 feet to 52 feet, as per the site evaluation by the structural and environmental engineer. The location of the bridge footings will be further back from either side of the shore of Arch Cape Creek to assure the long-term protection of the creek and the bridge.

The new bridge will be custom manufactured aluminum gangway structure with a 4" camber and with wooden top and side rails. The removal of the old bridge and new bridge installation will be done entirely from the land, using a crane. There will be no in-stream work.

2. Protection of Ocean Views. The blocking of scenic views of existing or proposed dwellings on adjacent lots and other lots that may be impacted shall be minimized in the construction of all structures.

The property is not oceanfront (it is located approximately .3 mile inland). The bridge will not impede any views from neighboring properties, since the profile will be essentially the same as that of the current bridge.

3. Preservation of Landscape. The landscape shall be preserved in its natural state to the maximum extent possible by minimizing tree, vegetation and soils removal. Cut and fill construction methods are discouraged. Roads and driveways should follow slope contours in a manner that prevents erosion and rapid discharge into natural drainages.

The landscape will be preserved. There are two alder trees immediately to the east of the bridge on the south end that are leaning toward the bridge and need to be removed. The current flow of Arch Cape Creek is causing those trees to lean in a north-westward direction, threatening to topple on the bridge and take out the electrical service wires and the water line to the house. We are therefore seeking to remove those two trees at the same time as the bridge is replaced. There will be no impact to the creek, as we plan to use the crane that will do the bridge replacement to lift the trees to the bank. We have worked with the Ecola Creek Watershed Council to do some plantings of native species (such as willows and ferns) along the creek bank that are intended to help stabilize the bank.

4. Buffering and Screening. In commercial zones, storage, loading, parking, service and similar accessory facilities shall be designed, located, buffered or screened to minimize adverse impacts on the site and neighboring properties.

Does not apply. This is not a commercial property.

5. Vehicle Circulation and Parking. The location of access points to the site, the interior circulation pattern and the arrangement of parking in commercially zoned areas shall be designed to maximize safety and convenience and to be compatible with proposed and adjacent buildings. The number of vehicular access points shall be minimized.

This project will not result in any change to parking.

6. Utility Service. Electric, telephone and other utility lines shall be placed underground.

No changes to existing utility services.

7. Signs. The size, location, design, material and lighting of all exterior signs shall not detract from the design of proposed or existing buildings, structures or landscaping and shall not obstruct scenic views from adjacent properties.

Does not apply. This is not a commercial property. No signs are proposed.

8. Surface Water Drainage. Special attention shall be given to proper surface water drainage from the site so that it will not adversely affect adjacent properties or the natural or public storm drainage system.

No changes to existing drainage. The bridge will have flow-through decking that will better enable water to run off the bridge.

ARTISAN ENGINEERING, LLC

325 West 13th Avenue
Eugene, Oregon 97401-3402
Phone 541-338-9488 Fax 541-338-9483

November 12, 2008

Bob Brown
32068 East Shingle Mill Road
Arch Cape, Oregon

Re: Design Bridge Footings for Prefabricated Foot Bridge at 32068 East Shingle Mill Road
in rural Arch Cape, Oregon

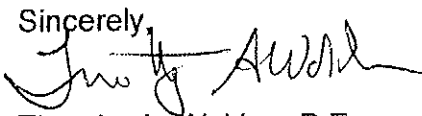
Dear Bob:

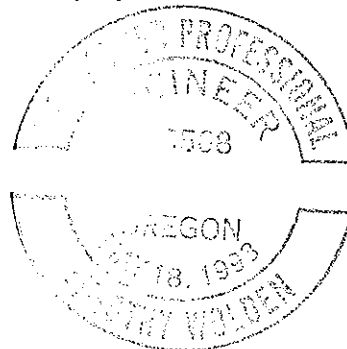
I have completed a design for concrete footings that will be necessary to support the prefabricated aluminum foot bridge that you intend to install at your property at 32068 East Shingle Mill Road in rural Arch Cape. The bridge will span the existing creek and lead to your two story residence on the south side of the creek. I understand that you will be demolishing the existing wooden bridge which is beginning to fail and is too low for the high water line of the creek.

I based the anchorage design on the bearing pad sketch that you gave me from Topper Industries of Clackamas. I understand that you will probably be buying the bridge as a prefabricated assembly and having it installed at the site once the foundation is built. I also understand that there are property line issues at the site so I have attached an approximate site plan that should help to locate the bridge properly. The weight of the bridge is minimal or about 1500 pounds. The bearing area under the footings used 1000 psf allowable but the actual bearing pressure due to the dead and live loading is less than 500 psf.

I have provided detail sketches to show the required footing size and anchorage connections as well as the embedment depth of the footing. The footing is intended to bear on the existing soil but also has a shear key to prevent it from sliding and to prevent undermining of the leading edge of the bearing pad by high water flow. I also stamped these details in the event that the Clatsop County Plans Reviewer requires the details to be stamped. Please use these details to construct the bridge and its anchorage.

I have enjoyed assisting you with this project. Please call me if you have any questions or concerns.

Sincerely,

Timothy A. Wolden, P.E.
Principal, Artisan Engineering, LLC



EXPIRATION DATE: 6/10

ARTISAN ENGINEERING, LLC

325 W. 13th Avenue
Eugene, Oregon 97401-3402
Tel (541) 338-9488 • Fax (541) 338-9483
www.artisanengineering.com

Job No.: 8350.01

Page: 1 of 2

By: TAW

Date: 11/8/03

Project: BRIDGE @ 32069 E. Shingle Mill Rd

NOTE FIND PL# Place Bridge
at least 5 feet from PL

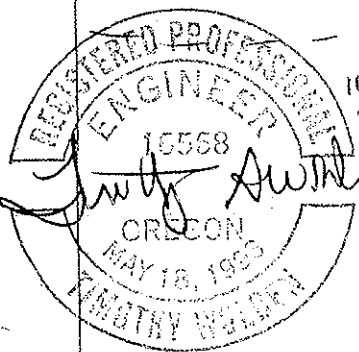
E. SHINGLE MILL
ROAD

ROAD

30' ±

45' ±

11/8/03



EXPIRATION DATE: 6/10

BRIDGE
FOOTING

TOP OF
BANK

POWER POLE
TELCO
RISER

30" MIN

PREFABRICATED BRIDGE
BY OTHERS
CREEK BOTTOM ≈ 32 ft
≈ 9' BELOW BRIDGE
DECK

APPROX
50' ±
SPAN

SEE 2/2 FOR
FOOTING DETAILS
SIMILAR @ NORTH BN

TOP OF
BANK

30" MIN

APPROX BRIDGE SITE PLAN

1/16" = 1' 0"



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Tel (541) 338-9488 • Fax (541) 338-9483
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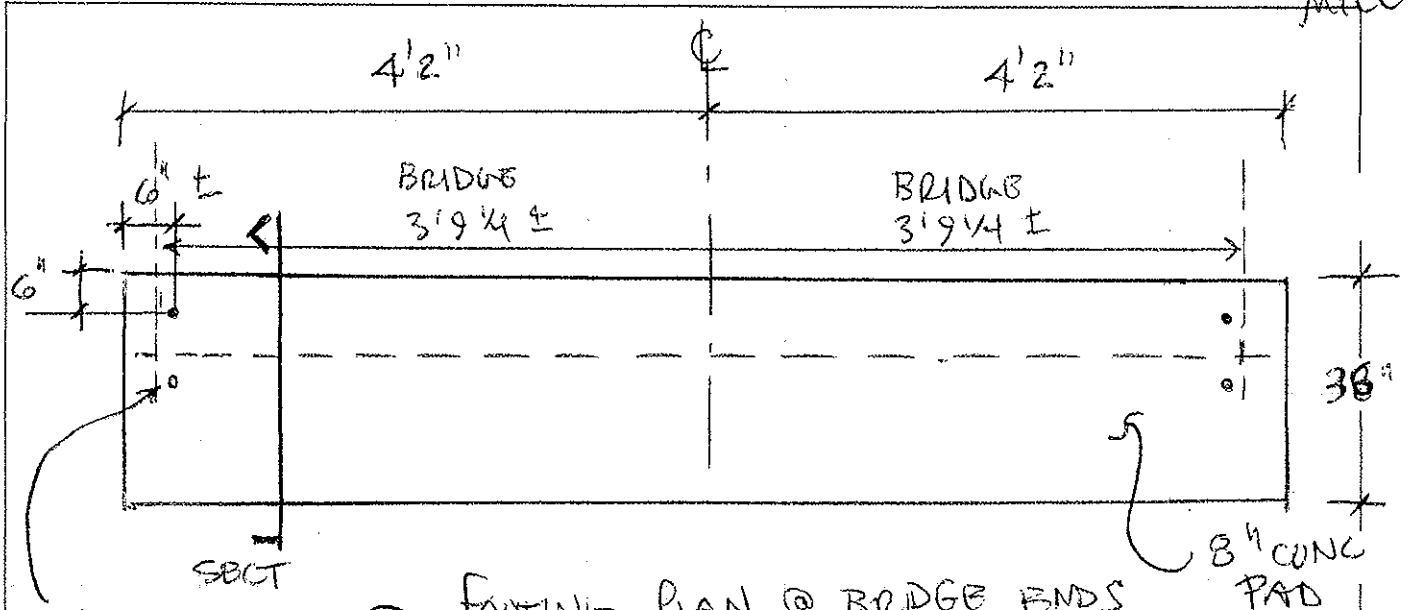
Job No.: 8350.01

Page: 2 of 2

By: TAW

Date: 11/6/08

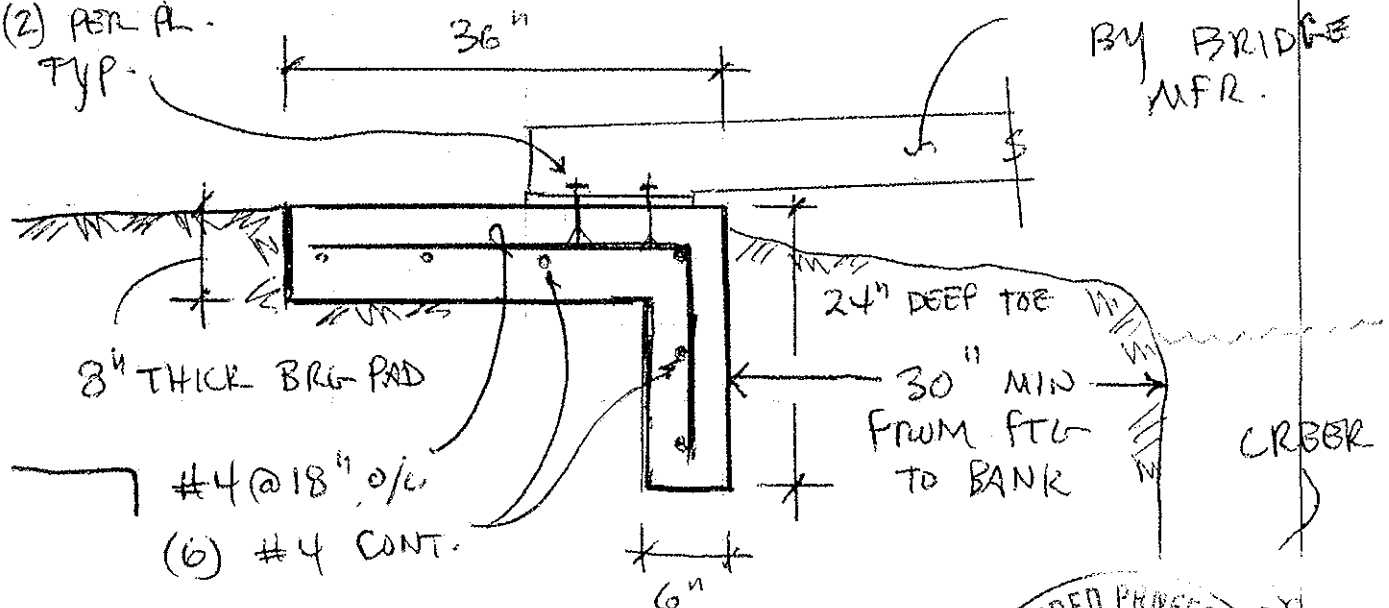
Project: BRIDGE FTG @ 32068 E. SHANAB MILL



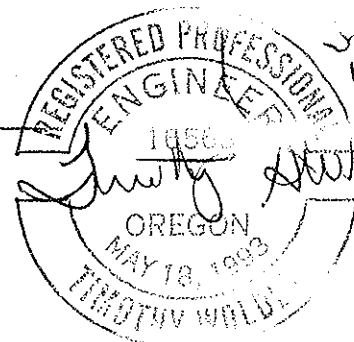
1/2" ϕ x 4"
EXP. BOLTS
@ BASE PLATES
(2) PER PL.
TYP.

FOOTING PLAN @ BRIDGE ENDS
3/4" = 1'0"

BRIDGE SUPPT
BY BRIDGE
MFR.



SECTION @ BRIDGE FTG
3/4" = 1'0"

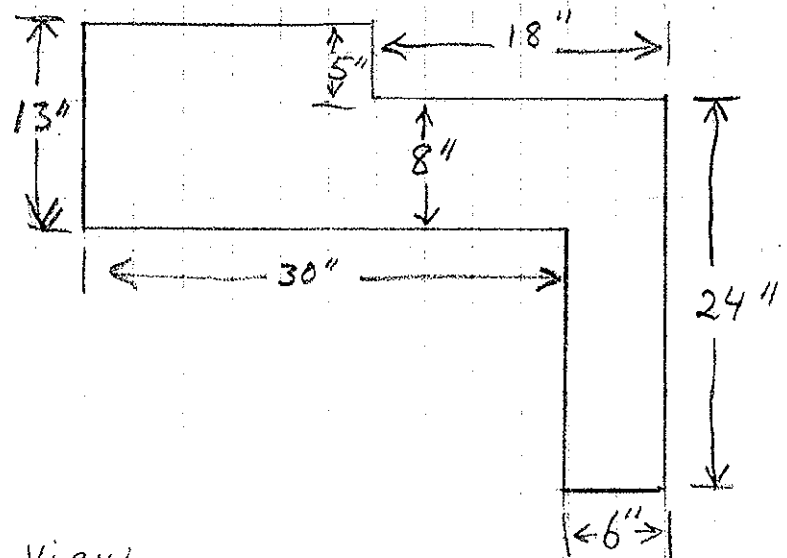


EXPIRATION DATE: 6/1/10

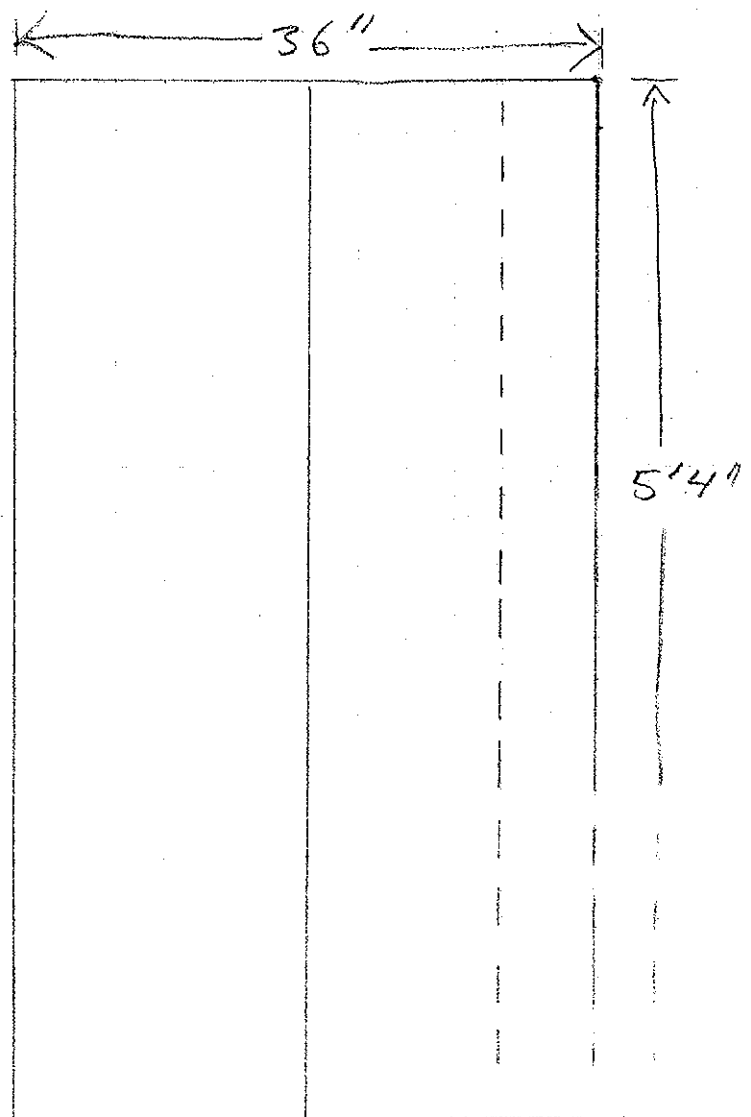
Footing

Fixed End

side view

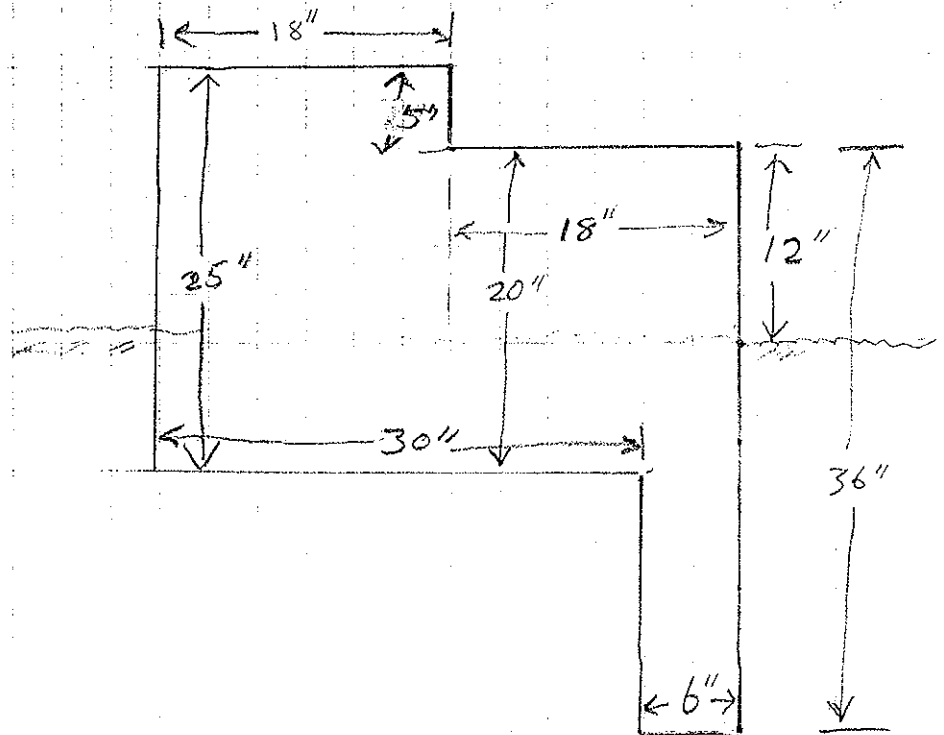


Top View

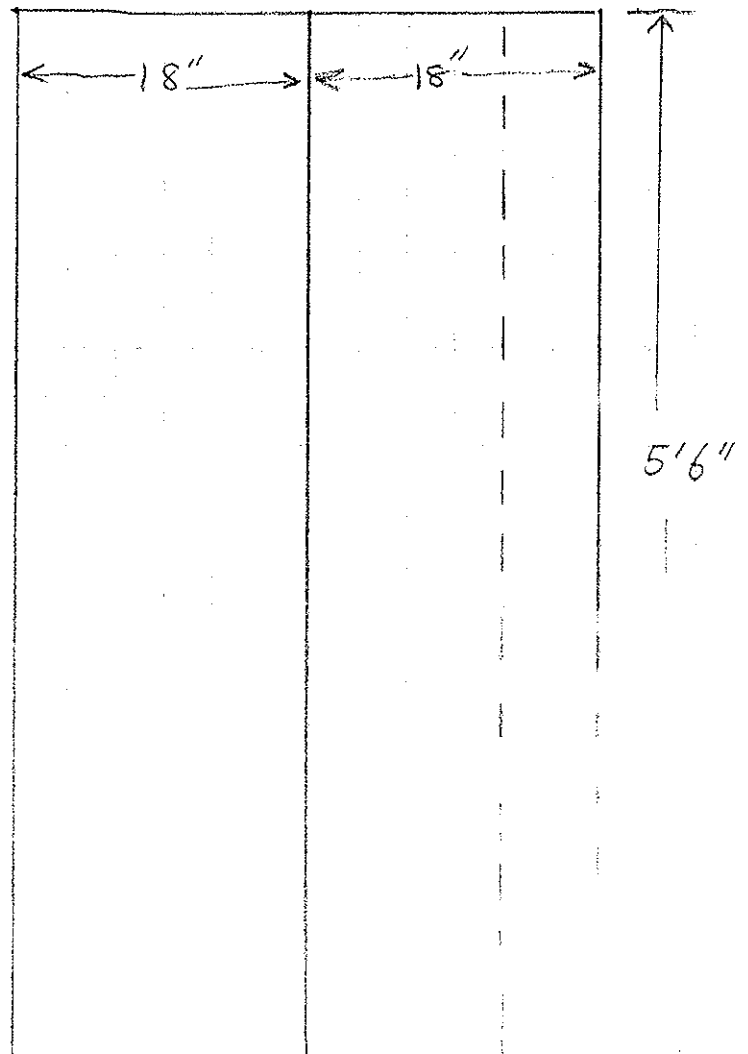


Footings
Side View

Expansion End



Top View



FIXED END
(NORTH END)

EXPANSION END
(SOUTH END)

PLAN VIEW

PEDESTRIAN BRIDGE DRAWINGS
5971-100 LAYOUT AND END DETAILS
5971-200 PLAN, ELEVATION & SECTION VIEWS
5971-210 WELD DETAILS
5971-300 TRANSITION PLATE
5971-310 FIXED END FOOTING DETAILS
5971-320 EXPANSION END FOOTING DETAILS

FIXED END

EXPANSION END



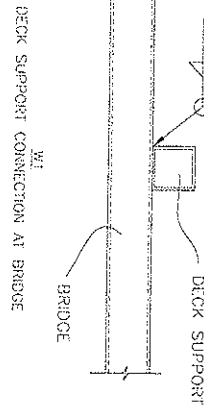
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FAX 360-687-0345 3625

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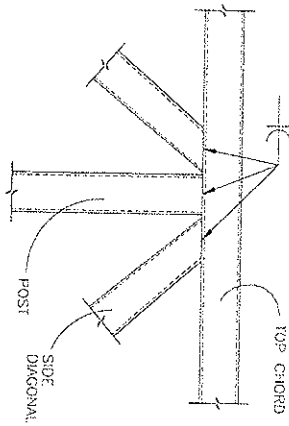
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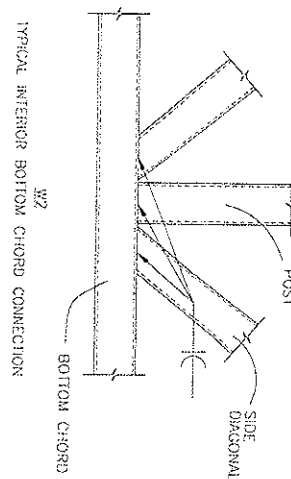
4'x52' PEDESTRIAN BRIDGE
LAYOUT AND END DETAILS
MICHAEL HEUMANN
PORTLAND, OREGON



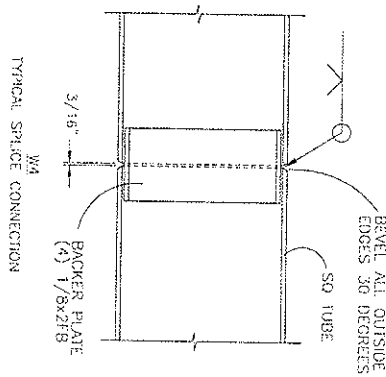
W1
DECK SUPPORT CONNECTION AT BRIDGE



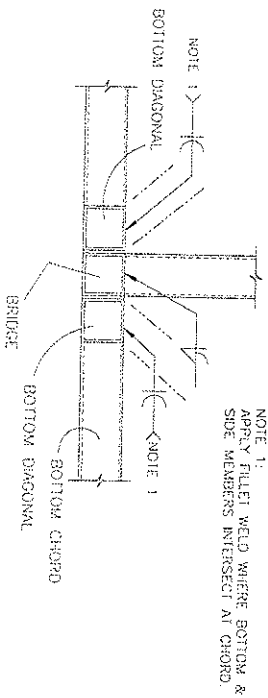
W3
TYPICAL TOP CHORD CONNECTION



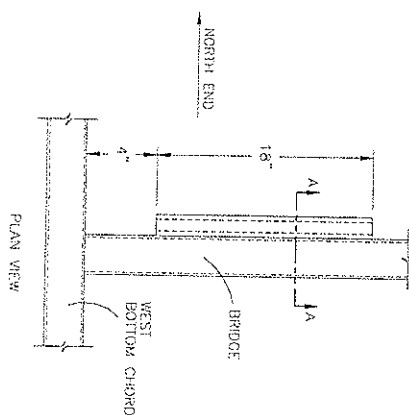
W2
TYPICAL INTERIOR BOTTOM CHORD CONNECTION



W4
TYPICAL SPLICE CONNECTION



W5
TYPICAL BRIDGE BOTTOM DIAGONAL TO BOTTOM CHORD CONNECTION



W6
PLAN VIEW



W7
UTILITY HANGER



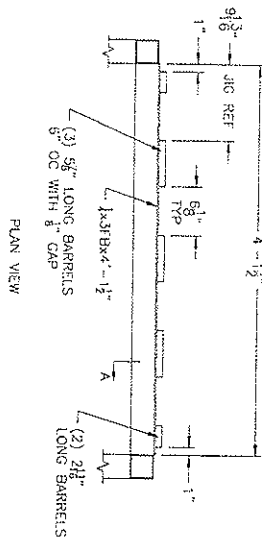
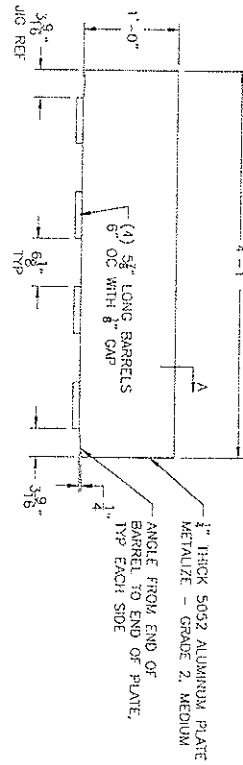
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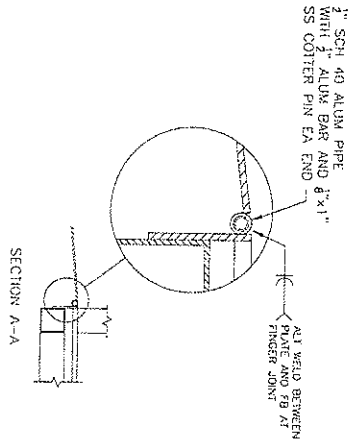
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4'x52' PEDESTRIAN BRIDGE
WELD DETAILS
MICHAEL HEUMANN
PORTLAND, OREGON



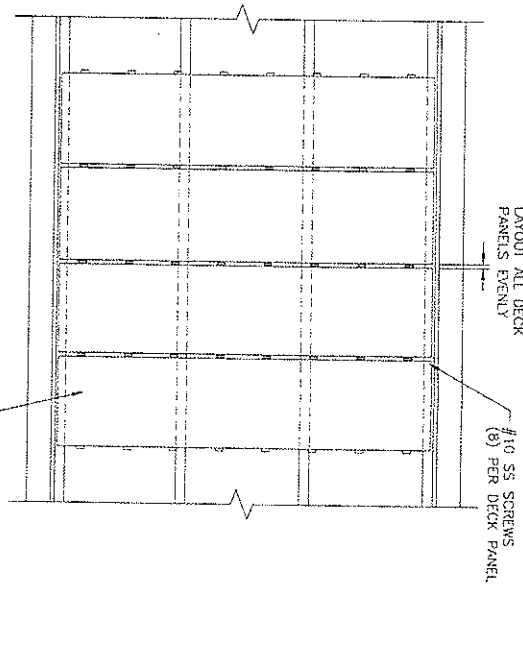
PLAN VIEW

- NOTES:
1. (2) TRANSITION PLATES REQUIRED.

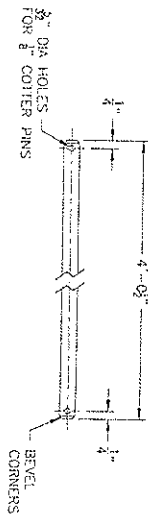


SECTION A-A

TRANSITION PLATE DETAILS



DECK LAYOUT
PLAN VIEW



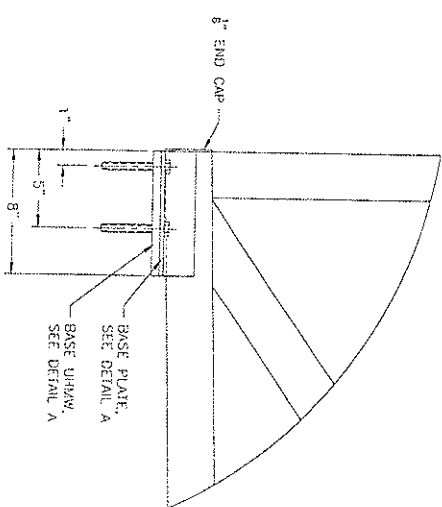
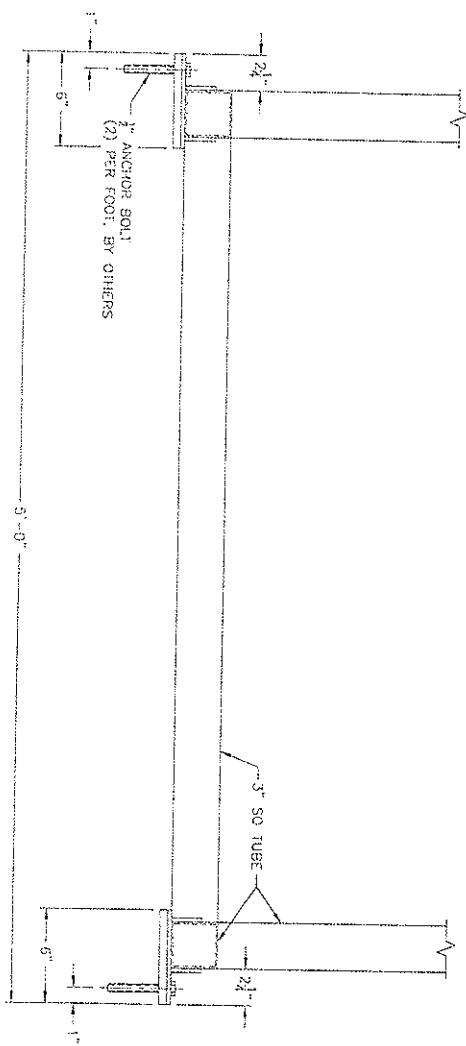
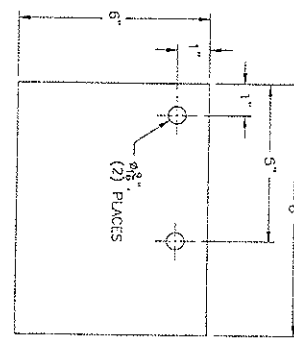
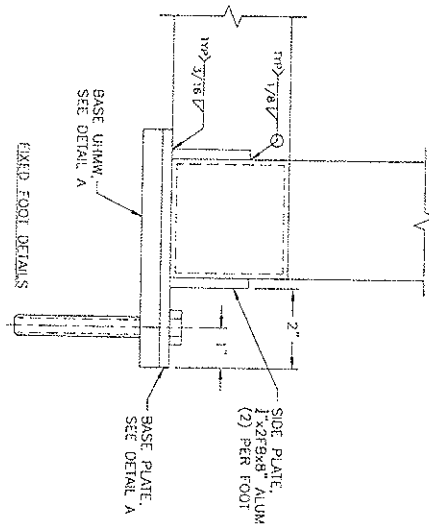
TRANS. AXLE
1" ALUM BAR
(2) REQUIRED

4'x52' PEDESTRIAN BRIDGE
TRANSITION PLATE DETAILS
MICHAEL HEUMANN
PORTLAND, OREGON

TOPPER
INDUSTRIES INC.
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FIXED END
END ELEVATION VIEW

FIXED END
SIDE ELEVATION VIEW

NOTE: CANADIAN STEEL TO ASTM A123

4'x52' PEDESTRIAN BRIDGE
FIXED END (NORTH END)
FOOTING DETAILS
MICHAEL HEUMANN
PORTLAND, OREGON

TOPPER
INDUSTRIES INC.

P. O. BOX 2439
BATTLE GROUND, WA 98604

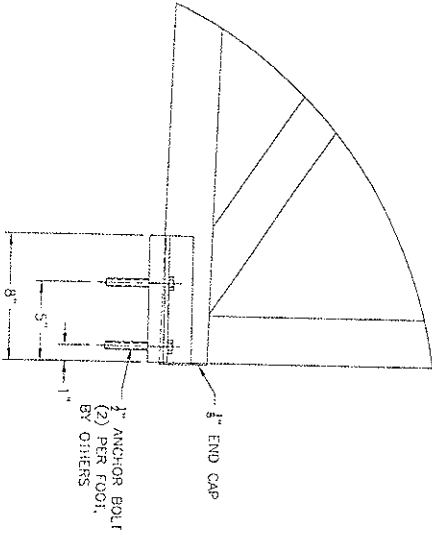
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EXPANSION END
SIDE ELEVATION VIEW



EXPANSION END
END ELEVATION VIEW

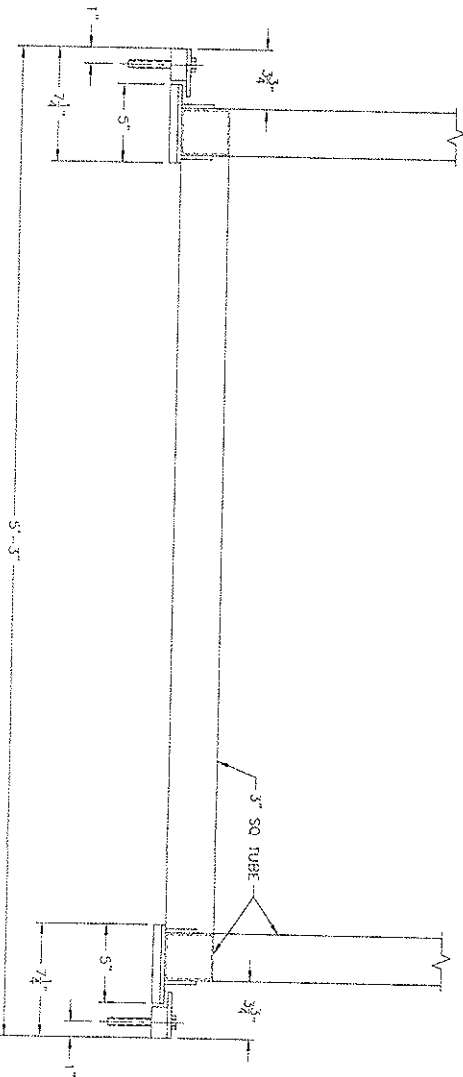
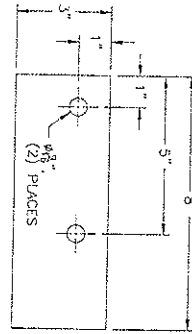
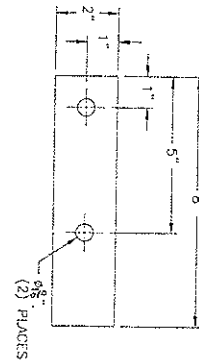


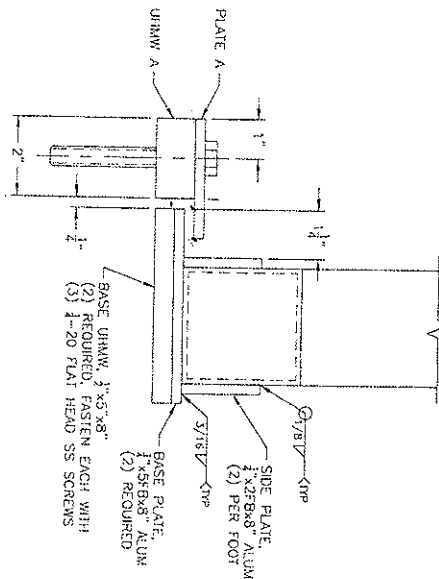
PLATE A
1/4"x8"x8" ALUM



URAW A
1"x3"x8" URAW



EXPANSION FOOT DETAILS



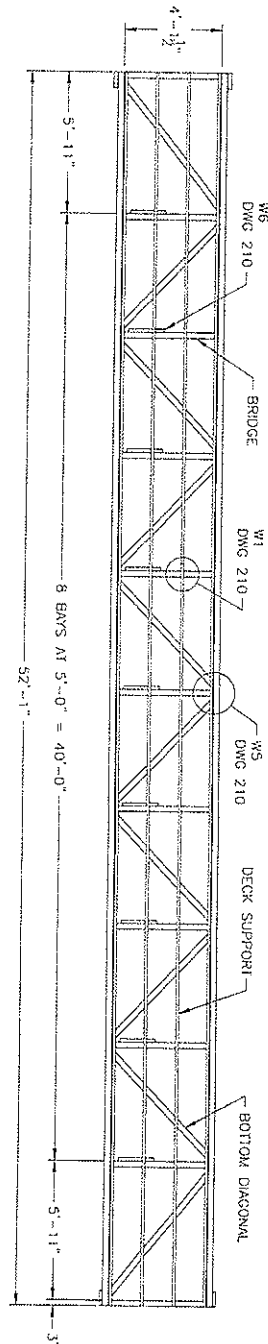
4"x52" PEDESTRIAN BRIDGE
EXPANSION END (SOUTH END)
FOOTING DETAILS
MICHAEL HEUMANN
PORTLAND, OREGON

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INDUSTRIES INC.
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THE SOLE PROPERTY OF TOPPER INDUSTRIES, INC.
ARE INCLUDED IN THIS DRAWING
DATA AND INFORMATION CONTAINED HEREIN SHALL
BE THE PROPERTY OF TOPPER INDUSTRIES, INC. AND
SHALL NOT BE REPRODUCED OR TRANSMITTED IN
ANY FORM OR BY ANY MEANS, ELECTRONIC OR
MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING,
OR BY ANY INFORMATION STORAGE AND RETRIEVAL
SYSTEM, WITHOUT PERMISSION IN WRITING FROM
TOPPER INDUSTRIES, INC.

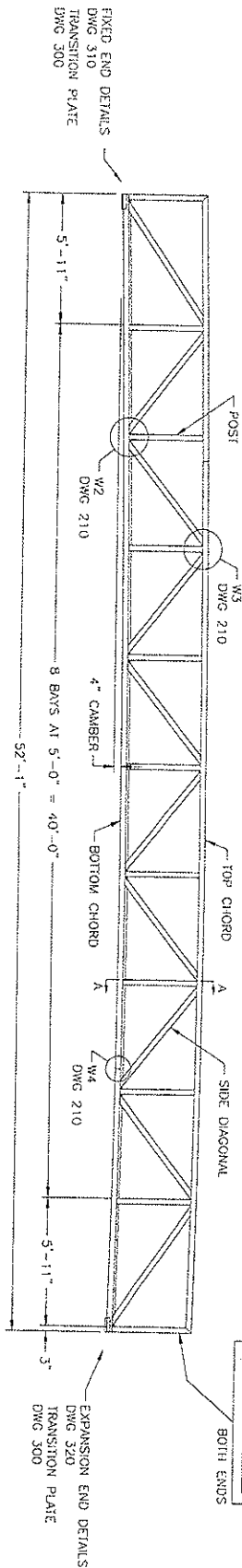
NO.	DATE	BY	CHK	CHK	REVISION DESCRIPTION
0	2/4/09	JS	SR	SL	INITIAL RELEASE

FIXED END
(NORTH END)



EXPANSION END
(SOUTH END)

PLAN VIEW
(DECKING NOT SHOWN)



ELEVATION VIEW

- NOTES
1. DIMENSIONS DO NOT INCLUDE END CAPS.
 2. END CAPS TO BE THICKNESS OF CHORD WALL.
 3. PROVIDE 1/2" DRAIN HOLES IN BOTTOM OF ALL CHORDS AT FIXED AND EXPANSION ENDS.

GENERAL STRUCTURAL NOTES

TEMPORARY CONDITIONS:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR STRUCTURAL STABILITY DURING CONSTRUCTION. THE STRUCTURE SHOWN ON THE DRAWINGS HAS BEEN DESIGNED FOR STABILITY IN THE FINAL CONFIGURATION ONLY.

STRUCTURAL MATERIAL:
ALL SHAPES TO BE ALUMINUM 6061-T6.

STEEL PLATES
HSS: ASTM A500 GRADE B
Fy = 48 KSI
CALVANEZING: ASTM A123

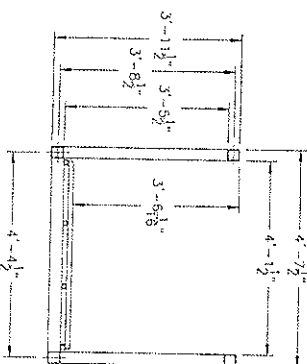
FABRICATION SHALL BE IN ACCORDANCE WITH THE AA SPECIFICATIONS FOR ALUMINUM STRUCTURES. WELDING SHALL CONFORM TO THE AWS USING FILLER ALLOY 5356.

PREQUALIFIED WELDING PROCEDURES SHALL CONFORM TO AWS/AWS D1.2-97 AND AWS/AWS D1.1-96.

UNLESS INDICATES ULTRA-HIGH MOLECULAR WEIGHT POLYETHYLENE

COMPONENTS

TOP CHORDS	3x3x0.125 ALUM TUBE
BOTTOM CHORDS	3x3x0.125 ALUM TUBE
POSTS	3x3x0.125 ALUM TUBE
SIDE DIAGONALS	3x3x0.125 ALUM TUBE
BRIDGES	3x3x0.125 ALUM TUBE
BOTTOM DIAGONALS	3x3x0.125 ALUM TUBE
DECK SUPPORTS	1 1/2 x 1 1/2 x 0.125 ALUM TUBE
DECK	1 1/2 x 1 1/2 x 4" THRU-LOW, COLOR MATCH



SECTION A-A

4'x52' PEDESTRIAN BRIDGE
PLAN, ELEVATION AND
SECTION VIEWS
MICHAEL HEUMANN
PORTLAND, OREGON



P. O. BOX 2439
BATTLE GROUND, WA 98604
360-687-1232 800-332-DOCK
FAX 360-687-0545 3625

PROPRIETARY DESIGNS AND DATA THAT ARE THE SOLE PROPERTY OF TOPPER INDUSTRIES, INC. ARE INCLUDED IN THIS DRAWING.

DATA AND INFORMATION CONTAINED HEREIN SHALL BE THE PROPERTY OF THE RECIPIENT COMPANY, NOT BE USED FOR ANY PURPOSE EXCEPT AS SPECIFICALLY AUTHORIZED BY TOPPER INDUSTRIES, INC.

NO.	DATE	BY	CHK	CHK	REVISION DESCRIPTION
0	2/3/09	JS	SR	SL	INITIAL RELEASE

From: "Ron Rehn" <Ron.F.Rehn@state.or.us>
Subject: **Bridge**
Date: August 22, 2008 9:54:46 AM PDT
To: <jheumann@teleport.com>

I stopped by and if all work is done where the current bridge is there would be no permit process for replacement. You'll need to check with the County about removing any trees. Ron

Ron Rehn
Habitat Conservation Biologist
Oregon Dept. Fish & Wildlife
4907 East Third St.
Tillamook, OR. 97141
(503) 842-2741 ext. 252 (phone)
(503) 842-8385 (fax)
ron.f.rehn@state.or.us (e-mail)

From: Michael A HEUMANN
To: Heumann, Judy and Michael
Date: 8/13/2008 9:38:39 AM
Subject: Re: Fwd: Bridge work

I spoke with Ron Rehn at the State Dept. of Fish and Wildlife office in Tillamook (503-842-2741) about our plans for the bridge. He felt that there are no State or Federal (US Army Corps of Engineers) requirements because of the following 3 key points to our project:

1. we are working above the stream channel and not in the water or bank area
2. we are replacing an existing structure (specific exemption for that)
3. we are keeping the same foot-print for the bridge (width, with only a slight extension in length to keep it away from the bank)

Because of these exemptions, we may also be able to do the work at any time of the year and not just between July and September. He will visit the site next week and give us his opinion in writing. He recommends that I contact the Clatsop Co. Planning Office to learn about the permitting requirements they might have.

>>> "Judy and Michael Heumann" <jheumann@teleport.com> 8/12/2008 10:38 PM >>>

Begin forwarded message:

From: "Lori Lilly" <llilly@columbiaestuary.org>
Date: August 12, 2008 10:17:20 AM PDT
To: <jheumann@teleport.com>
Subject: Bridge work

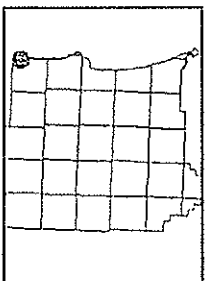
Good morning Michael,

I received your phone message regarding your bridge replacement project. I think that it would be helpful for you to first speak with a representative from Oregon Department of Fish & Wildlife. They will be able to let you know what to expect in terms of permitting from various agencies, where to go for next steps, and how to get your project completed while keeping the conservation of fish and wildlife at the top of your list of goals. They are usually able to make site visits and recommendations readily. Our local office is in Tillamook and I would suggest talking to Ron Rehn or Troy Laws. The number for that office: (503) 842-2741. I hope that helps - good luck!
Lori

Lori Lilly
Watershed Council Coordinator
Columbia River Estuary Study Taskforce/
North Coast Watershed Association
750 Commercial St. Rm. 205
Astoria, Oregon 97103
503-325-0435
503-325-0459 fax
www.clatsopwatersheds.org

Clatsop County Map

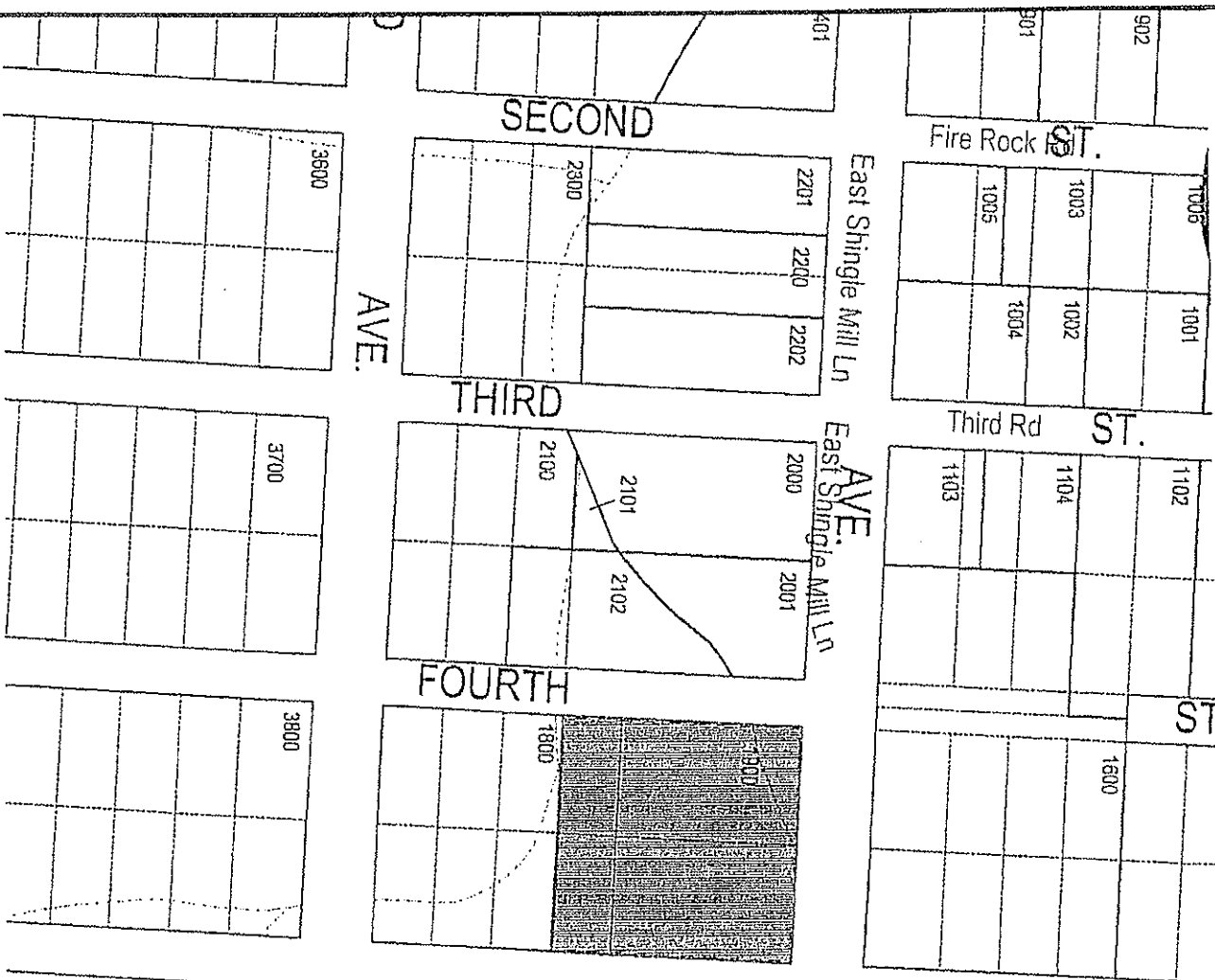
- PLS
- PLS
- PLS Townships
- Tax Lot Arrows
- Tax Map
- Creek
- Tract Boundary
- Supplemental Boundary
- Road R-Q-W



10/27/2008



1 in. = 145 ft.



This map was produced using the Clatsop County GIS data. The GIS data is maintained by the county to support its governmental activities. The county is not responsible for map errors, omissions, misuses or misinterpretation.

Scolie 1" = 100'.

4 10 30 0

See Map

4 10 30BD

A VENUE

CEN. SEC. 30

CANC.
1801
1101
1200
1401
1500
1700

Block 52

200 x 200
Chase

Structure:
 0 5 2
 + 6 7 8 9 1

10 - 11 - 12 - 13

С.О. Мор

Can Vacate
4th Street
and
5th Street

A V E N U E

1/15 Cor.

PROPERTY

50A

NATIONAL FLOOD INSURANCE PROGRAM

FLOOD INSURANCE RATE MAP

CLATSOP COUNTY,
OREGON
(UNINCORPORATED AREAS)

COMMUNITY-PANEL NUMBER
410027 0050 A

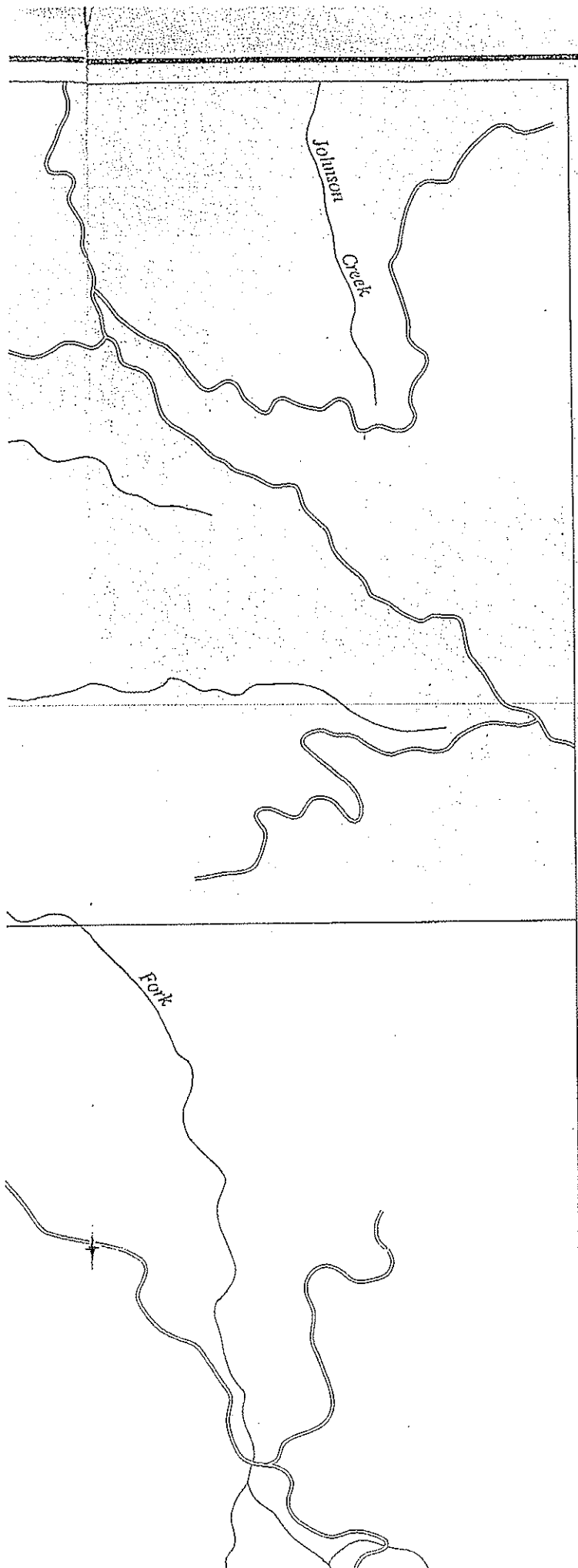
PAGE 50 OF 60

(SEE MAP INDEX FOR PAGES NOT PRINTED)

EFFECTIVE
JULY 3, 1978



U.S. DEPARTMENT OF
HOUSING AND URBAN DEVELOPMENT
FEDERAL INSURANCE ADMINISTRATION



KEY TO MAP

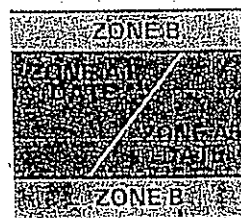
500-Year Flood Boundary

100-Year Flood Boundary

Zone Designations* With
Date of Identification
e.g., 12/2/74

100-Year Flood Boundary

500-Year Flood Boundary



Base Flood Elevation Line
With Elevation In Feet**

513

Base Flood Elevation In Feet
Where Uniform Within Zone**

(EL 987)

Elevation Reference Mark

RM7x

River Mile

M1.5

**Referenced to the National Geodetic Vertical Datum of 1929

*EXPLANATION OF ZONE DESIGNATIONS

ZONE	EXPLANATION
A	Areas of 100-year flood; base flood elevations and flood hazard factors not determined.
A0	Areas of 100-year shallow flooding where depths are between one (1) and three (3) feet; average depths of inundation are shown, but no flood hazard factors are determined.
AH	Areas of 100-year shallow flooding where depths are between one (1) and three (3) feet; base flood elevations are shown, but no flood hazard factors are determined.
A1-A30	Areas of 100-year flood; base flood elevations and flood hazard factors determined.
A99	Areas of 100-year flood to be protected by flood protection system under construction; base flood elevations and flood hazard factors not determined.
B	Areas between limits of the 100-year flood and 500-year flood; or certain areas subject to 100-year flooding with average depths less than one (1) foot or where the contributing drainage area is less than one square mile; or areas protected by levees from the base flood. (Medium shading)
C	Areas of minimal flooding. (No shading)
D	Areas of undetermined, but possible, flood hazards.
V	Areas of 100-year coastal flood with velocity (wave action); base flood elevations and flood hazard factors not determined.
V1-V30	Areas of 100-year coastal flood with velocity (wave action); base flood elevations and flood hazard factors determined.

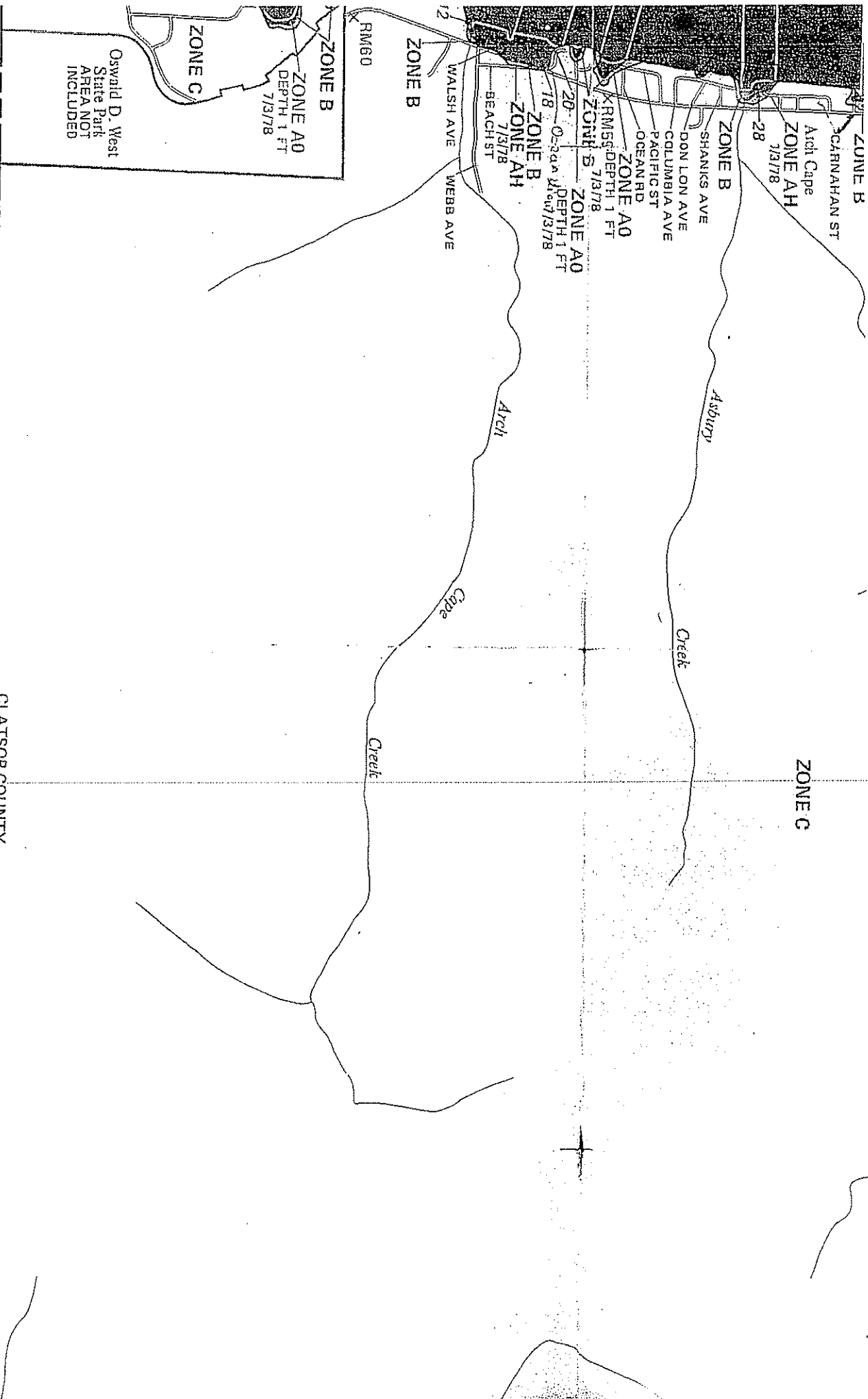
NOTES TO USER

Certain areas not in the special flood hazard areas (zones A and V) may be protected by flood control structures.

This map is for flood insurance purposes only; it does not necessarily show all areas subject to flooding in the community or all planimetric features outside special flood hazard areas.

For adjoining map panels, see separately printed Index To Map Panels.

INITIAL IDENTIFICATION
DECEMBER 20, 1974



ELEVATION REFERENCE MARKS

REFERENCE MARK	ELEVATION FT. (NGVD)	DESCRIPTION OF LOCATION	REFERENCE MARK	ELEVATION (FT. NGVD)	DESCRIPTION OF LOCATION
RM54	13,841	A standard U.S. Coast & Geodetic Survey reference mark disk, stamped Bluff Ref. 1926, in massive rock, at Silver Point, approximately 2.25 miles south of Ecola Hotel at Cannon Beach, approximately 32 feet south of Triangulation Station.	RM58	137,538	A standard Oregon State Highway Department disk stamped X 219 1942, set in the northwest corner of Oregon Coast Highway bridge, approximately 1.0 mile north of Arch Cape, in the northwest corner



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CLATSOP COUNTY
Trans. & Dvlp. Svcs., Planning Division
800 Exchange Street, Suite 100
Astoria, OR 97103

www.co.clatsop.or.us
ph: 503-325-8611
fx: 503-338-3666
em: comdev@co.clatsop.or.us



April 15, 2009

SOUTHWEST COASTAL DESIGN REVIEW / CITIZEN ADVISORY COMMITTEE

CRITERIA EVALUATION SHEET – DESIGN REVIEW

Applicant:

Chad & Debbie Calhoun
PO Box 908
Cannon Beach, OR 97110

Owner:

Same as Above

Property Description:

T4N, R10W, Sec 19CA, TL 3402

CRITERIA

1. Relation of Structure to Site:

2. Protection of Ocean Views:

3. Preservation of Landscape:

4. Buffering and Screening (For Commercial Uses):

5. Vehicle Circulation and Parking:

6. Utility Service:

7. Signs:

8. Surface Water Drainage:

9. Other Criteria for Evaluation:

The above-entitled matter came before the Southwest Coastal Design Review and Citizen Advisory Committee at its April 15, 2009 meeting for a public hearing and consideration of proposal.

Based upon the evidence and testimony provided by the applicant, planning department staff, and the citizens of the area, this committee hereby recommends this application be: { *Approved, Conditionally Approved, Denied* }

Dated this ____ day of April 2009

The Southwest Coastal Design Review /
Citizen Advisory Committee

George Cerelli, Chairman Clatsop County
SW Coastal DR/CA Committee

Clatsop County Community Development
Department
800 Exchange Street, Suite 100,
Astoria, OR 97103

ph: 503-325-8611
fx: 503-338-3666
em: comdev@co.clatsop.or.us
www.co.clatsop.or.us



PUBLIC NOTICE FOR AN ISSUE BEFORE THE TRANSPORTATION & DEVELOPMENT DIRECTOR

In the matter of a Major Design Review application for a Single Family Residence submitted by Adair Homes on behalf of the owners Chad & Debbie Calhoun. The applicant seeks Design Review approval to construct a residence on the subject property described in this notice. The legal description of the Parcel is T4N, R10W, § 19CA, TL 03402.

*(For more information see **Page 2** of this notice)*

DATE OF DECISION:	April 24, 2009
COMMENT PERIOD:	April 7, 2009 – April 22, 2009
DESIGN REVIEW HEARING:	April 15, 2009, 6pm Arch Cape Fire Hall
SEND COMMENTS TO:	Public Service Building, 800 Exchange Street, Suite 100 Astoria, Oregon 97103
CONTACT PERSON:	Michael Weston II, Clatsop County Planner

You are receiving this notice because you either own property within 250 feet of the property that serves as the subject of the land use application described in this letter or you are considered to be an affected state or federal agency, local government, or special district. A vicinity map for the subject property is attached.

NOTICE IS HEREBY GIVEN that Clatsop County's Transportation & Development Services have received the land use application described in this letter. Pursuant to section 4.100 of the Clatsop County Land Water Development and Use Ordinance a **Public Hearing is scheduled before the Design Review Committee on Wednesday, April 15, 2009** and; Pursuant to Section 2.020 of the Clatsop County Land and Water Development and Use Ordinance (LWDUO), the Department Director is scheduled to render a decision based on evidence and testimony on Friday, April 24, 2009 at the Public Service Building, 800 Exchange St., Suite 100, Astoria, OR 97103.

All interested persons are invited to submit testimony & evidence in writing by addressing a letter to the Clatsop County Transportation & Development Director, 800 Exchange Street, **Suite 100**, Astoria, OR 97103. Written comments may also be sent via FAX to [503-338-3666](tel:503-338-3666) or via email to comdev@co.clatsop.or.us. Written comments must be received in this office no later than **4PM on Wednesday April 15, 2009** in order to be considered at the **Public Hearing** and no later than **Wednesday, April 22, 2009** in order to be considered in the **Decision**.

NOTE: Failure of an issue to be raised in a hearing, in person or by letter, or failure to provide statements or evidence sufficient to afford the decision maker an opportunity to respond to the issue precludes an appeal based on that issue.

THE LAND USE APPLICATION DESCRIBED:

The applicant is requesting Design Review approval for a Single Family Dwelling. The building plans indicate the structure is 24' from the base of the foundation to the roof peak. Average Grade Calculation are taken from undisturbed soils and indicate the maximum allowable height is 24' 9" above the control point located at the Southeast corner of the structure's footprint. The plans submitted by the applicant do not indicate the average grade in comparison to the structure. They do indicate the structure will be 24 feet above finished grade; however the finished grade does not reflect the average grade. Regardless all other aspects of the structure appear to conform to the Design Review Criteria.

For More Details regarding Location and Design see pages 3 - 6

The following criteria from Clatsop County Land and Water Development and Use Ordinance (LWDUO) apply to the request: § 1.010-1.050 (Definitions), 2.020 (Type II Procedure), 2.120 (Procedure for Mailed Notice), 2.230-2.260 (Request for Review/Appeal et al), 3.060 (Arch Cape Rural Community Residential Zone), 4.100 (Site Development Review Overlay District {SDRO}), and Clatsop County's Standards Document Chapters 1-3.

In addition, the following elements of the Clatsop County Comprehensive Plan apply to the request: Goal 1 (Citizen Involvement), Goal 2 (Land Use Planning), Goal 5 (Natural Resources, Scenic and Historic Areas, and Open Spaces), Goal 6 (Air, Water and Land Resources Quality), Goal 8 (Recreational Needs), Goal 9 (Economy), Goal 10 (Housing), Goal 11 (Public Facilities and Services), Goal 12 (Transportation), Goal 13 (Energy Conservation), and the Southwest Coastal Community Plan.

These documents are available for review at the Clatsop County Community Development Department office, 800 Exchange Street, Suite 100, Astoria, Oregon and on-line at the county's website, www.co.clatsop.or.us.

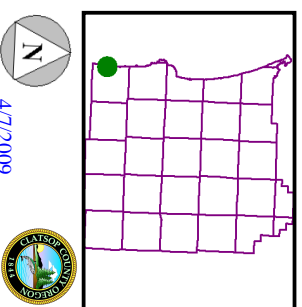
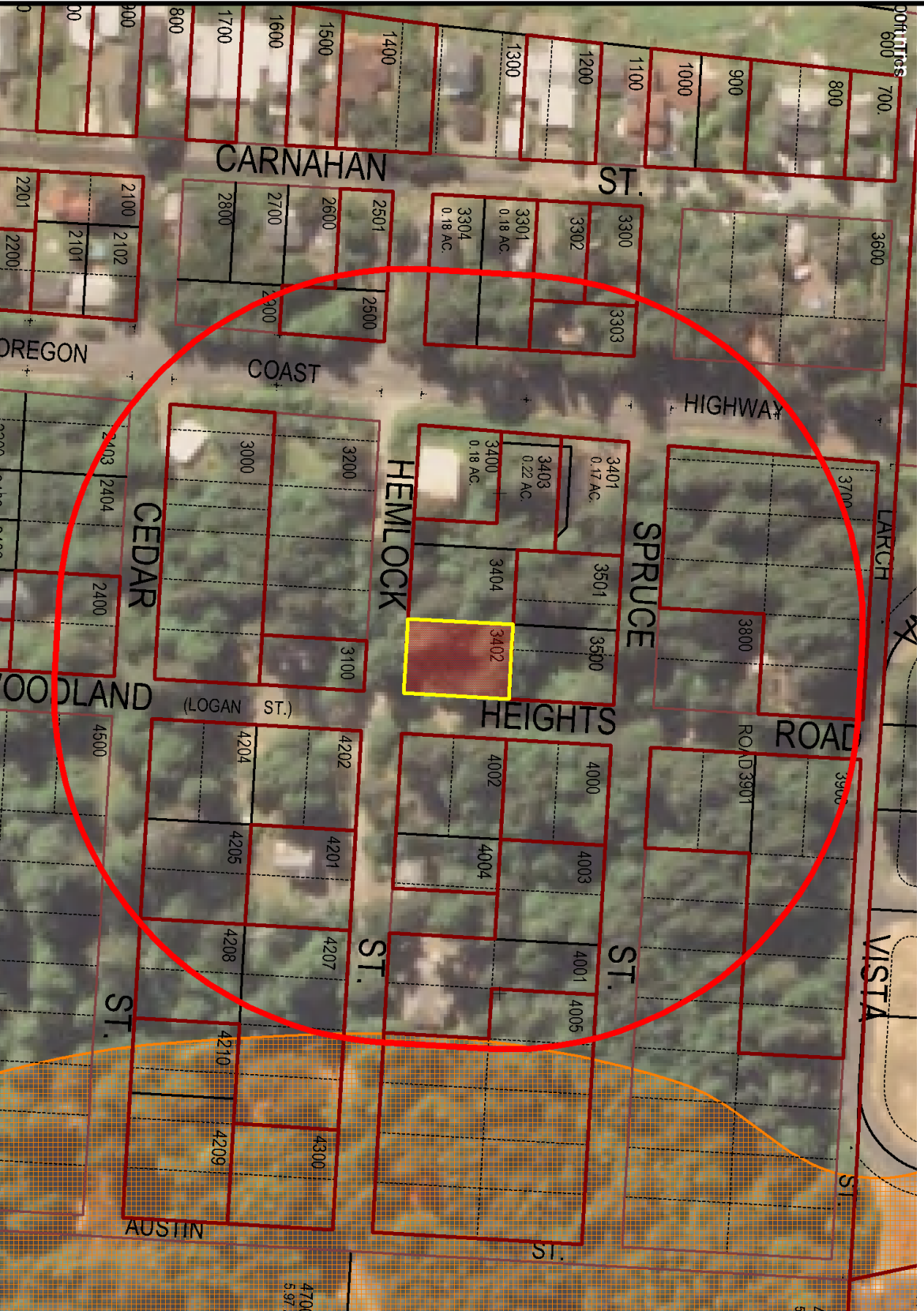
A copy of the application, all documents and evidence submitted by or on behalf of the applicant and applicable criteria are available for inspection at the Transportation & Development Department Office during normal business hours (M-F, 8-5) at no cost and will be provided at reasonable cost.

If you have questions about this land use matter or need more information, please contact Michael Weston II, Clatsop County Planner, at (503) 325-8611 or via email at mweston@co.clatsop.or.us.

Notice to Mortgagee, Lien Holder, Vendor or Seller: ORS Chapter 215 requires that if you receive this notice it must promptly be forwarded to the purchaser.

Clatsop County Map

- Geological Hazards
- PLS
- PLS Townships
- PLS Surveys
- Tax Map
- Paced Boundary
- Supplemental Boundary
- Road R-O-W



PLOT PLAN

NAME Chad & Dobbie Calhoun
 PROPERTY LOCATION TBD Woodland Heights Rd Arch Cape
 LEGAL ADDRESS TS 4N R 10W Sec 19 Tax Lot # 3402
Clatsop County, State of Oregon

Scale 1"=15'

OWNER SIGNATURE

DATE 1/31/04

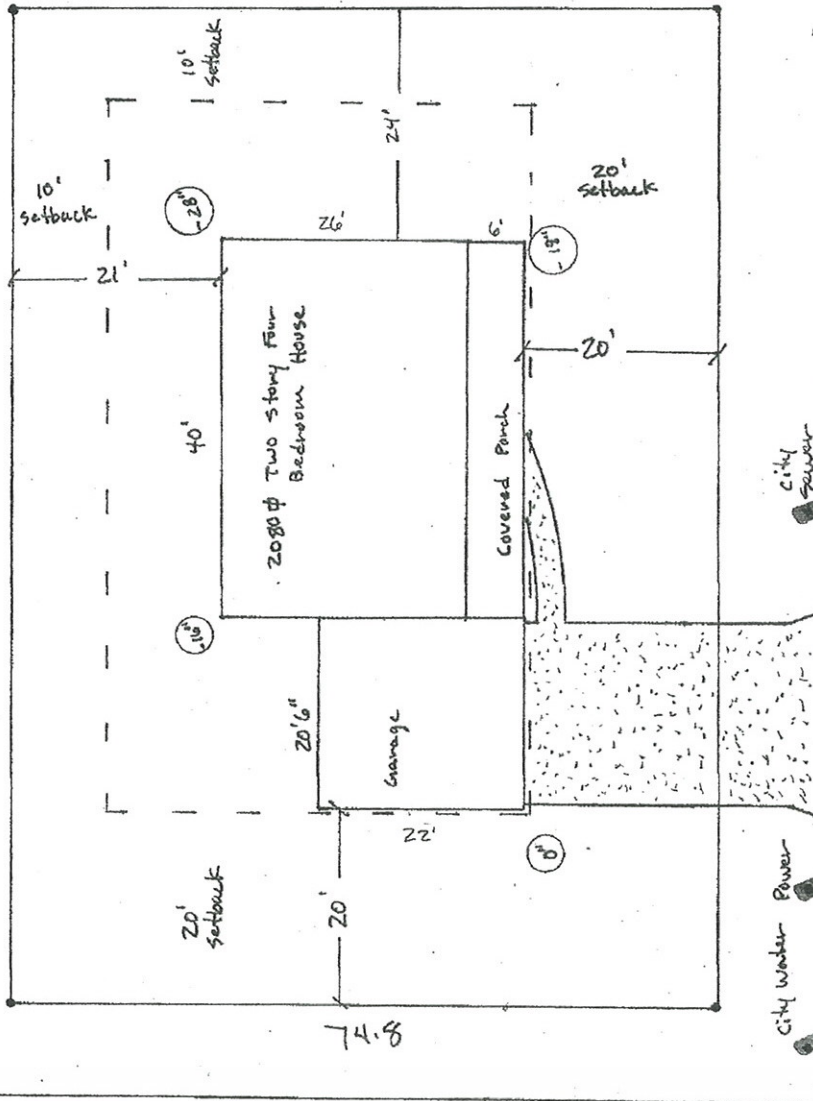
OWNER SIGNATURE

DATE 1-31-09

THE INFORMATION ON THIS PLOT PLAN HAS BEEN PROVIDED AND REVIEWED BY THE PROPERTY OWNER WHO BY SIGNING BELOW: 1) ACKNOWLEDGES AND ACCEPTS FULL RESPONSIBILITY FOR ITS ACCURACY AND COMPLETENESS; 2) IS RESPONSIBLE TO ENSURE THAT THE IMPROVEMENTS TO THE SITE TAKE PLACE IN CONFORMANCE WITH THIS PLAN; 3) WILL ESTABLISH ALL THE CORNER IRONS, LOT LINES AND CODE-REQUIRED SETBACKS REQUIRED OF THIS PROPERTY. ANY CHANGE(S) TO THIS PLAN MUST BE PRE-APPROVED BY THE GOVERNMENTAL AGENCIES WITH JURISDICTION, THE MORTGAGE LENDER AND THE CONTRACTOR AND DOCUMENTED.

Max Average Grade Height = 24' 9"

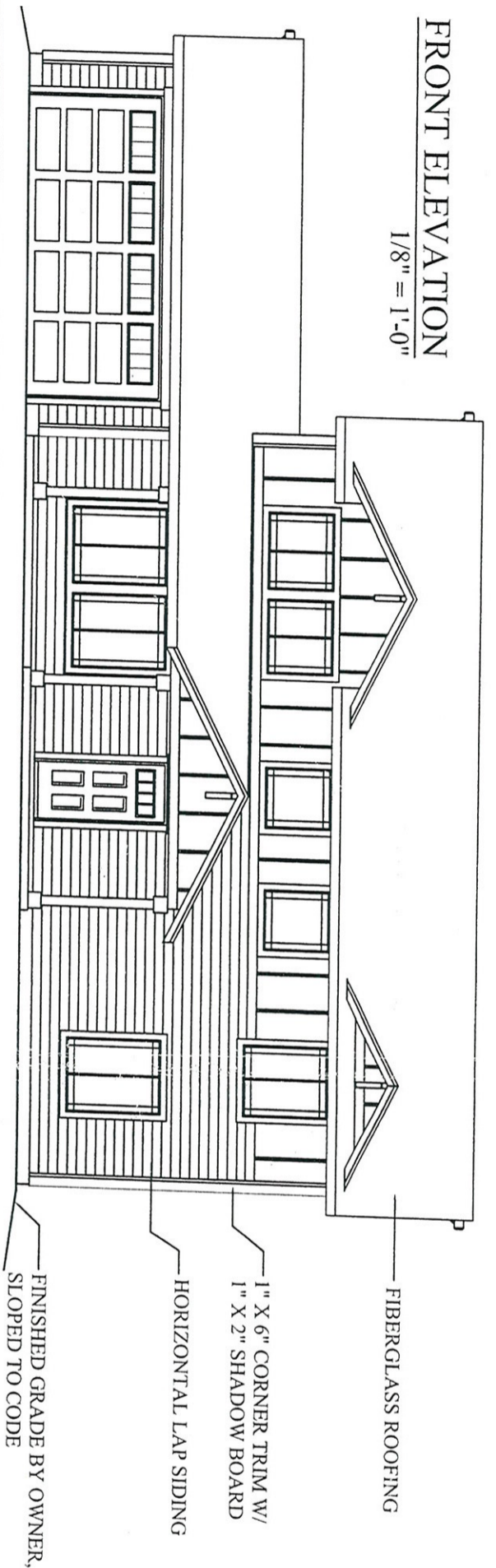
0' 0"
 -16"
 -28"
 -18"
 -62" ÷ 4
 Total
 AVE
 GRADE
 -15.5"
 -0.4"
 -1.4"



Hemlock Street

Woodland Heights Road

FRONT ELEVATION
1/8" = 1'-0"



SCALE

OPTIONAL EXTERIOR SIDING & TRIM SPECIFICATIONS

1. Siding on walls - LP Smart Siding 3/8" thick X 8" wide horizontal lap siding.
2. Siding on upper portion of front wall & gables - LP Smart Panel plain siding with 4/4 X 2 LP Smart Trim vertical batts at 16" OC. 5/4 X 6 LP Smart Trim bell band located as shown on elevation drawings at bottom of gables & separating upper & lower portions of front wall.
3. Window and Sliding Glass Door trim. 5/4 X 4 LP Smart Trim all sides. On grouped windows the vertical center mullions will be 7/16" LP Smart Panel plain siding ripped to fit the width between windows.
4. Window Grids. Integral window grids in perimeter style configuration (Prairie Frame) for all windows. No grids in SGD.
5. Garage and Front Entry Door trim. 5/4 X 4 LP Smart Trim each side and 5/4 X 6 LP Smart Trim Header. Header overhangs sides 1 1/2" on each end. (Does not apply to other exterior doors.)
6. Wrapped porch support beam and pillars - Front, back, bottom (between posts) and exposed end of the support beam to be covered with LP Smart Panel plain (no groove) siding. 4 X 4 posts boxed in with 5/4 X 6 and 5/4 X 8 LP Smart Trim. The base and top to be finished with 5/4 X 6 LP Smart Trim as a footing and crown. Pillar covers to terminate at the bottom 8" below the top of the rough floor elevation of the home. The Owner will provide the front porch (wood deck or concrete slab) to match this elevation.
7. Look-out beam at peak of designated gable ends - 4 X 6 cedar beam, 4 X 4 cedar angled brace, and 2 X 4 cedar back plate.

4-2080 G REVERSE

APPROVED:

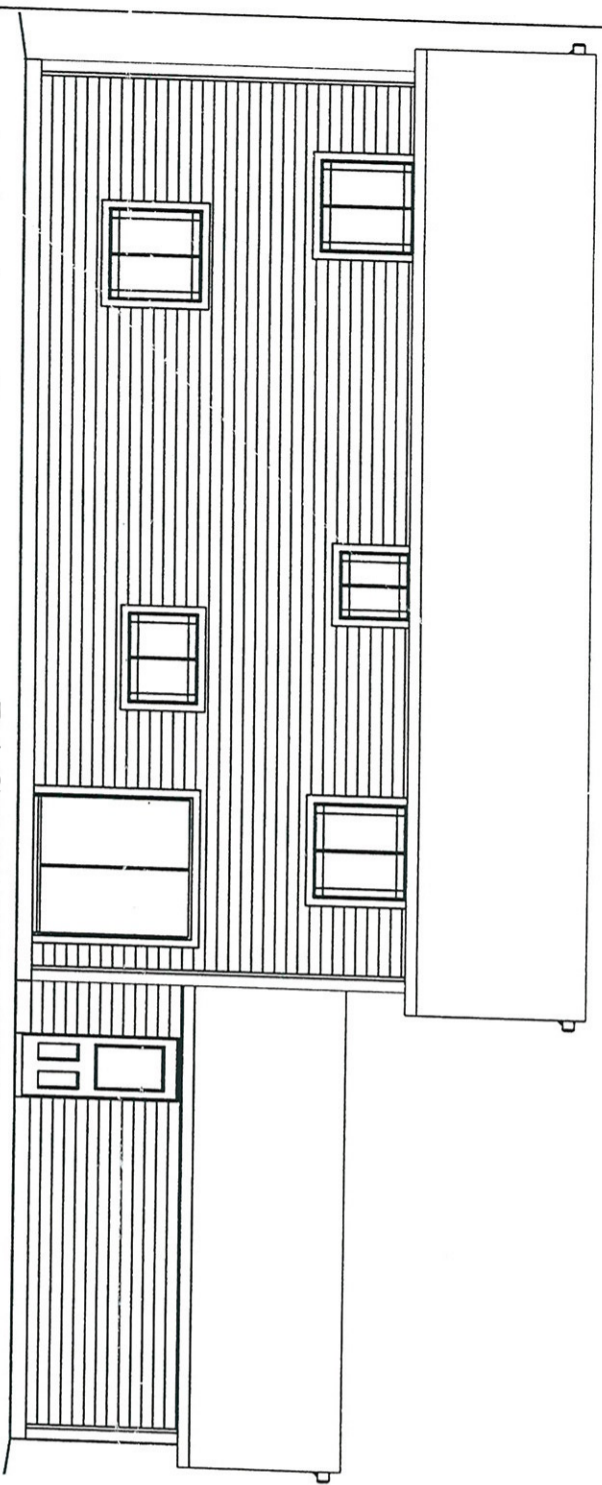

OWNER


OWNER

DATE 1-31-09

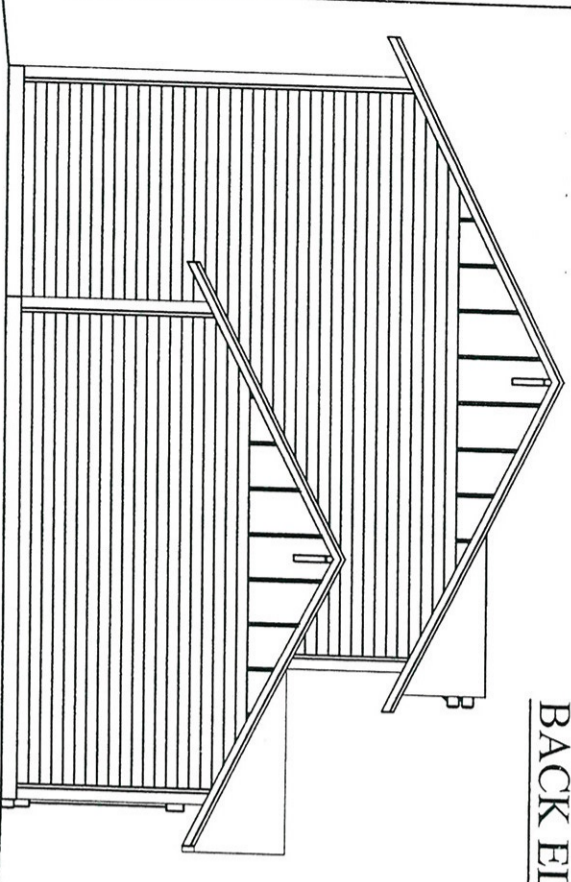
OFFICER, ADAIR HOMES

BACK ELEVATION
1/8" = 1'-0"

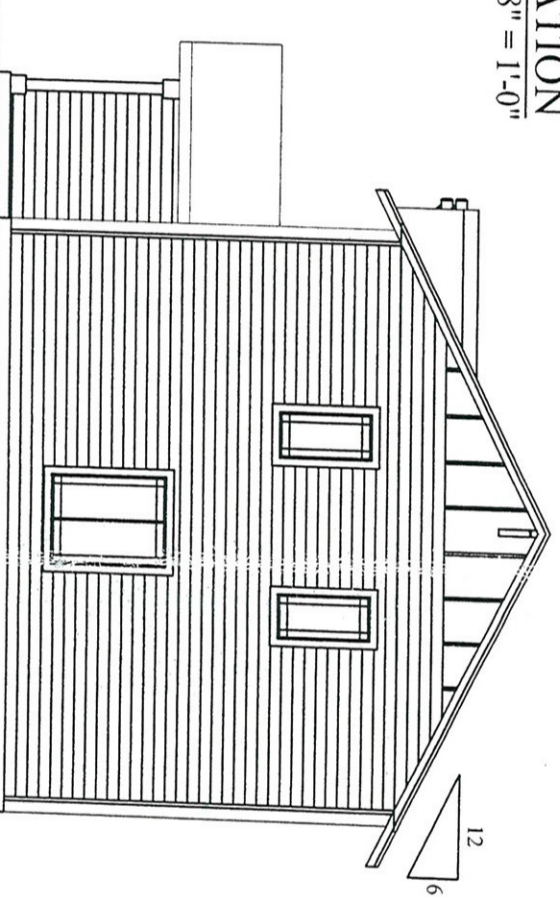


1/8" = 1'-0"

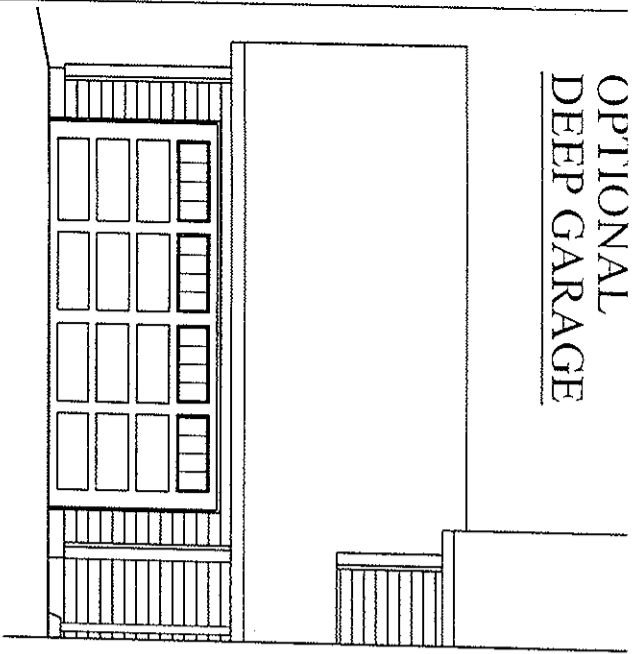
LEFT ELEVATION
1/8" = 1'-0"



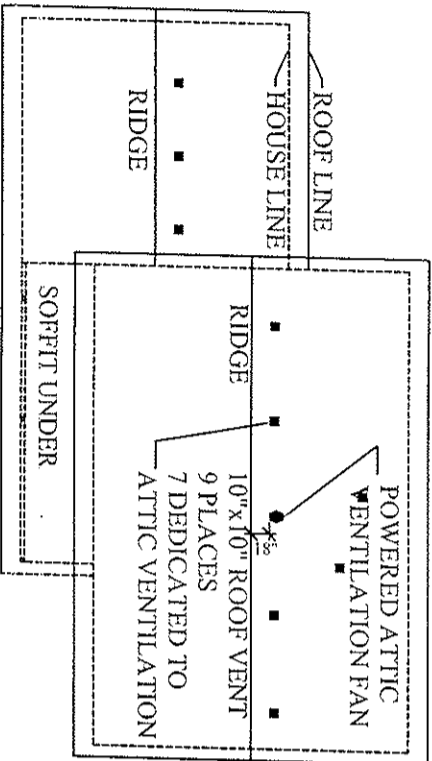
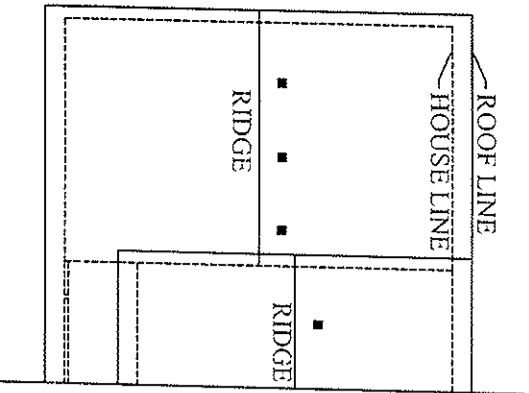
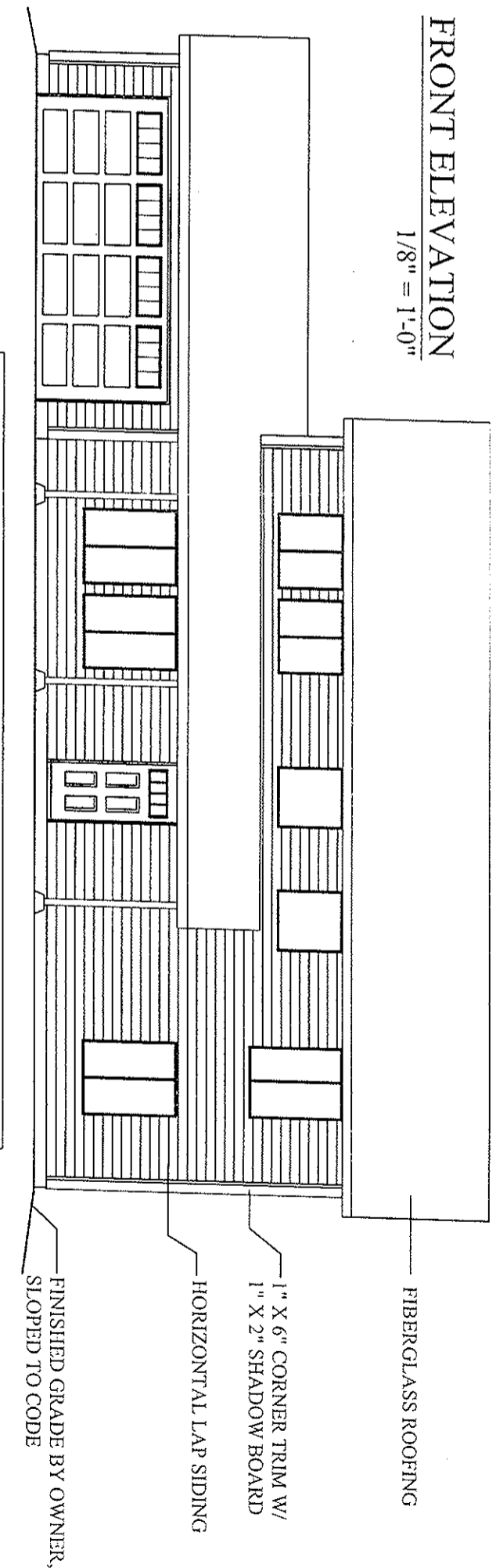
RIGHT ELEVATION
1/8" = 1'-0"



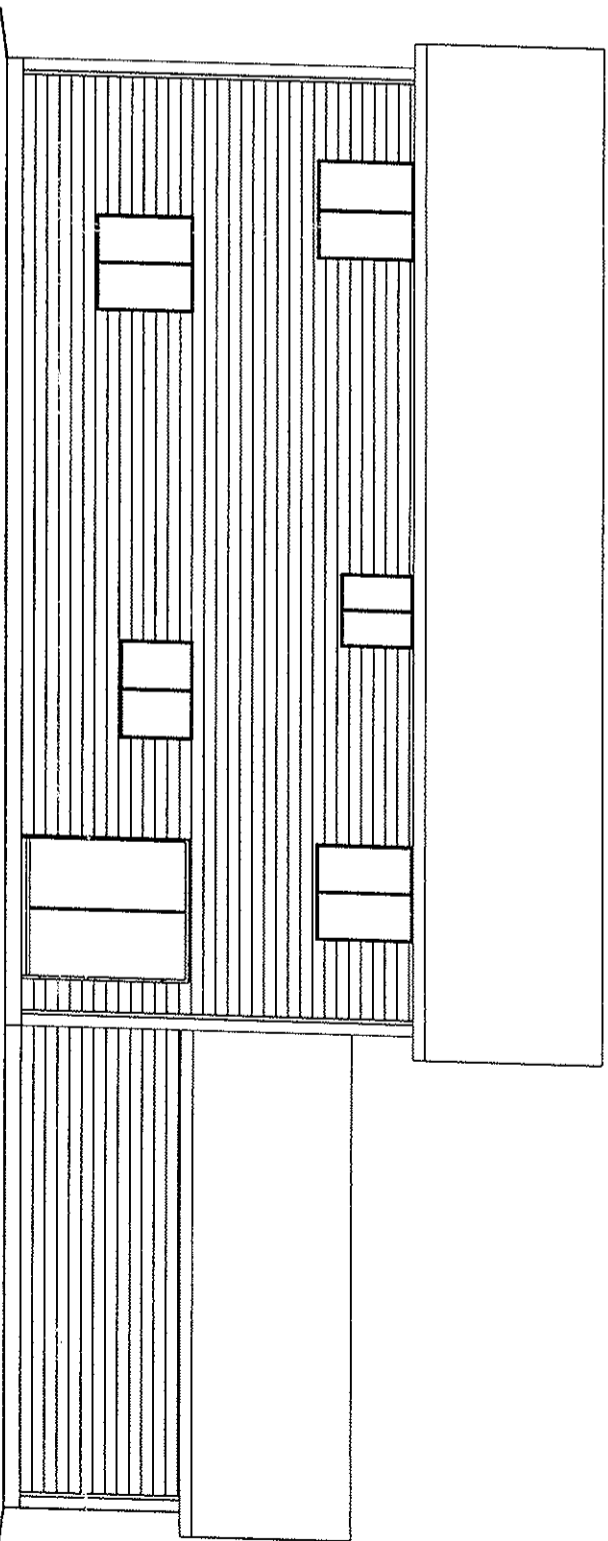
OPTIONAL
DEEP GARAGE



FRONT ELEVATION
1/8" = 1'-0"

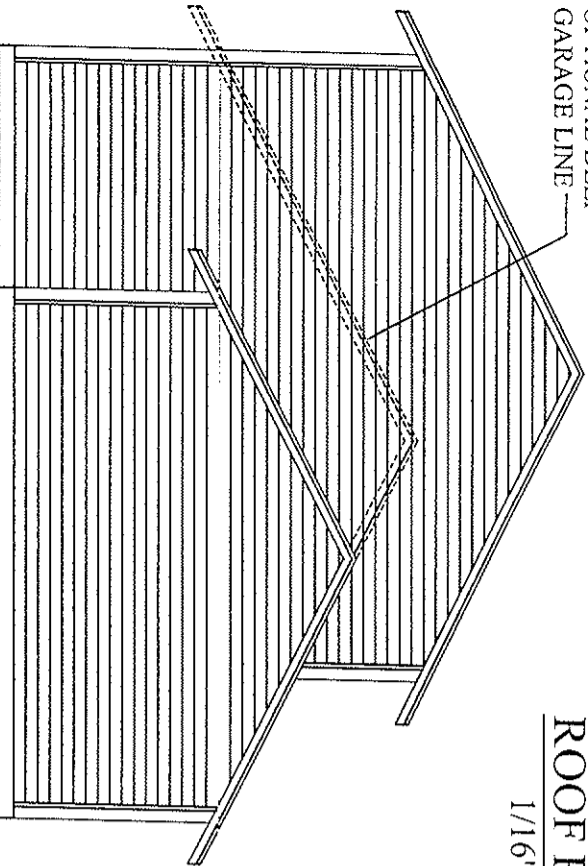


ROOF PLAN
1/16" = 1'-0"

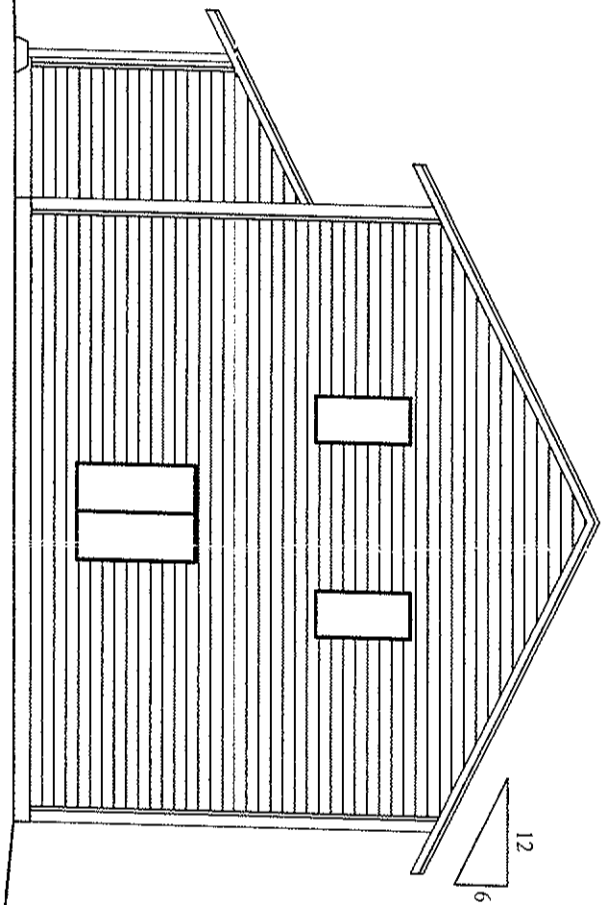


BACK ELEVATION
1/8" = 1'-0"

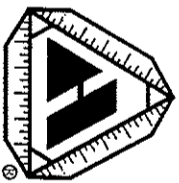
OPTIONAL DEEP
GARAGE LINE



LEFT ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"



ADAIR HOMES INC.

© COPYRIGHT 2006

SCALE AS SHOWN

DATE 11/01/08

OREGON

DRAWN BY

REVISED

4-2080 G REVERSE

ELEVATIONS

DRAWING NUMBER

1



Development Permit

Clatsop County Planning and Development
800 Exchange St Ste 100
Astoria, OR 97103

Ph. (503) 325 - 8611 Fax (503) 338 - 3666

For Department Use Only

Permit #: 20090091
Permit Type: Type II
Entry Date: 3/4/2009
Entered By: Michael Weston
Assigned To:
Permit Status: Pending

Permit Timeline

User	Status	Date
Michael Weston	Entered	03/04/2009
Michael Weston	Deemed Incompl	03/18/2009

Proposed Use

Proposed Use: **Design Review**

Zone: **AC-RCR**

Description: New Residence

Overlay District: **None**

Owner/Project Location

Owner: Name: **Calhoun Chad & Calhoun Debbie**

Ph. #: (503) 470-0430

Address: PO Box 908

Cell: () -

City, State, Zip: Cannon Beach, OR 97110

Fax: () -

Situs Address: T R S Q S Qq S Taxlot

City: State: OREGON 4 10 19 C A 03402

Applicant/Agent

Applicant: Name: Adair Homes (Linda)

Ph. #: (360) 225-1154

Address:

Cell: () -

City, State, Zip:

Fax: () -

Agent: Name/Type:

Ph. #: () -

Address:

Cell: () -

City, State, Zip:

Fax: () -

Fees

Fee Type:

Planning/Development

Permit Fee Total:

\$711.00

Total: **\$711.00**

Receipt

Payor Name:

Calhoun Chad

Pymnt Type

Check

Check

1827

Pymnt Date

03/18/2009

Pymnt Amount:

\$711.00

Balance Due: \$0.00

Signatures

1. For Commercial and industrial uses, include parking and loading plan, sign plan and erosion control plan.
2. For residential and other uses, include an erosion control plan.
3. Review attached applicant's statement and sign below.

I have read and understand the attached APPLICANT'S STATEMENT and agree to abide by the terms thereof.

Applicant Signature: _____ **Date:** _____

Owner Signature: _____ **Date:** _____

Agent Signature: _____ **Date:** _____



Development Permit

For Department Use Only

Clatsop County Planning and Development
800 Exchange St Ste 100
Astoria, OR 97103

Permit #: 20090091

Ph. (503) 325 - 8611 Fax (503) 338 - 3666

Zoning District Requirements

Property Access Info.

Access to Property:

County Permit Required?

State Permit Required?

Direction	Setbacks	
	Req.	Actual
F:		
S1:		
S2:		
R:		

Property Information

Compliance/Permit Requirements

Clatsop County Compliance

Except as noted, the Clatsop County Community Development Department finds the proposed use(s)/action(s) in compliance with the Clatsop County Land & Water Development and Use Ordinance and with the Clatsop County Comprehensive Plan.

The evaluation of the land parcels outlined above is based on the information presented at this time, standards provided in the Clatsop County Land & Water Development & Use Ordinance, and policies of the Comprehensive plan, and the Zoning/ Comprehensive Plan Map.

The applicant or property owner must comply with the conditions noted below and on the attached applicants statement.
This permit is not valid unless the conditions are met.

Entered by: Michael Weston

Entered Date: 03/04/2009

Applicants Signature: _____

Date: _____

Clatsop County Authorization: _____

Date: _____

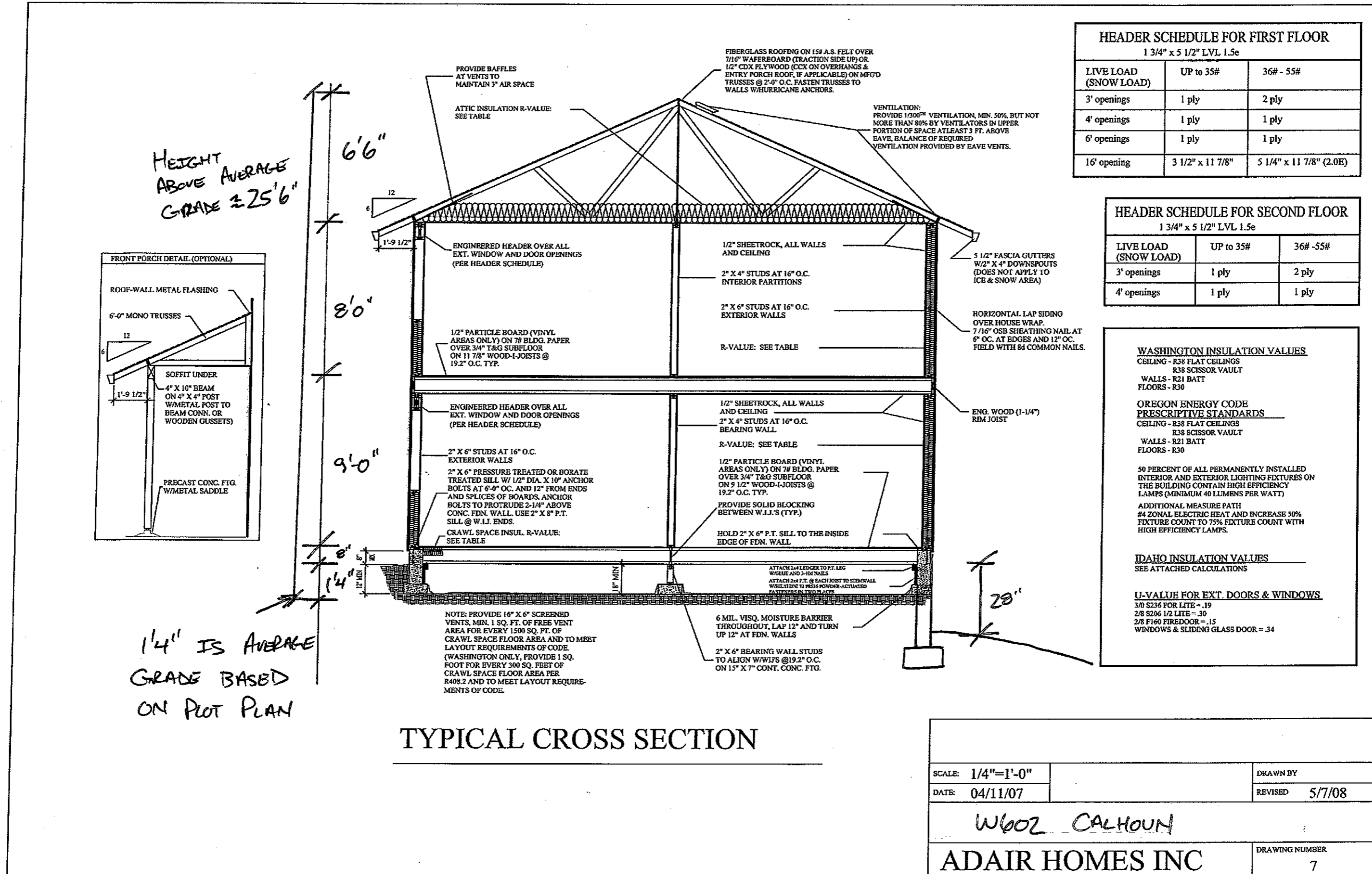


Development Permit

Applicant's Statement

1. *Pertaining to the subject property described, I hereby declare that I am the legal owner of record, or an agent having the consent of the legal owner of record, and am authorized to make the application for a Development Permit/Action so as to obtain the following permits: Building, Sanitation, U.S. Army Corps of Engineers, Oregon Division of State Lands, Oregon Department of Transportation, Oregon Department of Parks and Recreation, or a Clatsop County Road Approach. I shall obtain any and all necessary permits before I do any of the proposed uses or activities. The statements within this application are true and correct to the best of my knowledge and belief. I understand that if the permit authorized was based on false statements, or it is determined that I have failed to fully comply with all conditions attached to and made a part of this permit, this permit approval is hereby revoked and null and void.*
2. *It is expressly made a condition of this permit that I at all times fully abide by all State, Federal, and local laws, rules, and regulations governing my activities conducted or planned pursuant to this permit.*
3. *As a condition for issuing this Development Permit/Action, the undersigned agrees that he/she will hold Clatsop County harmless from and indemnify the County for any and all liabilities to the undersigned, his/her property or any other person or property, that might arise from any and all claims, damages, actions, causes of action or suits of any kind or nature whatsoever, which might result from the undersign's failure to build, improve or maintain roads which serve as access to the subject property or from the undersign's failure to fully abide by any of the conditions included in or attached to this permit.*
4. **WAIVER OF VESTED RIGHTS DURING APPEAL PERIOD FOR ZONING AUTHORIZATIONS.**
I have been advised that this Land and Water Development Permit/Action by the Clatsop County Community Development Director may be appealed within twelve (12) calendar days of the date of permit issuance and authorization (note: if the twelfth day is a Saturday, Sunday or legal holiday, the appeal period lasts until the end of the next day which is not a Saturday, Sunday or legal holiday). I understand that if the approval authorized by the County and referenced above is reversed on appeal, then the authorization granted prior to the end of the appeal period will be null and void. I further understand and consent to the fact that any actions taken by me in reliance upon the authorization granted during the appeal period shall be at my own risk, and that I hereby agree not to attempt to hold Clatsop County responsible for consequences or damages in the event that removal of improvements constructed during the appeal period is ordered because an appeal is sustained.
5. *I am aware that failure to abide by applicable Clatsop County Land and Water Development and Use Ordinance 80-14, as amended and Standards Document regulations may result in revocation of this permit or enforcement action by the County to resolve a violation and that enforcement action may result in levying of a fine.*
6. *I understand that a change in use, no matter how insignificant, may not be authorized under this permit and may require a new Development Permit/Action (check first, with the Clatsop County Community Development Department).*
7. *I understand that this Development Permit/Action expires 180 days from the date of issuance unless substantial construction or action pursuant to the permit has taken place. Upon expiration, a new development permit must be obtained.*

Average Grade Cross Section Submitted April 9, 2009





**APPLICATION FOR
DESIGN REVIEW**

Fee: **Major Construction - \$711.00** (see attached page for explanation)
Minor Construction - \$554.00 (see attached page for explanation)

APPLICANT: Chad and Debbie Calhoun Phone: (503) 470-0430

Address: PO Box 908, Cannon Beach, OR 97110

OWNER: Chad and Debbie Calhoun Phone: (503) 470-0430

Address: PO Box 908, Cannon Beach, OR 97110

AGENT: NIA Phone: NIA

Address: NIA

Proposed Development: New House

Present Zoning: SFR-1 Overlay District: _____

Lot Size: 74.80' X 105.06'

Property Description: _____

41619CA03402
1007, 1019

Property Location: _____
Township Range Section Tax lot(s)
Parcel #3 of Partition Plat #1990-15
Arch Cape, OR 97102

General description of the property:

Existing Use: Residential - only land right now

Topography: incline, trees, overgrown bushes, dirt, rocks

General description of adjoining property:

Existing Uses: Residential

Topography: Same

Community Development Department

800 Exchange, Suite 100 * Astoria, Oregon 97103 * (503) 325-8611 * FAX 503-338-3666

Time Limit on Approval. Site design review approvals shall be void after one (1) year unless a building permit has been issued and substantial construction has taken place per the Uniform Building Code.

The information contained in this application is in all respects true, complete, and correct to the best of my knowledge and I am aware of the additional costs that may accrue and agree to pay them as required above.

Applicant's Signature: CH + Debbie Call Date: 2-25-09

Owner's Signature: CH + Debbie Call Date: 2-25-09

The following is from the Clatsop County Land and Water Development and Use Ordinance #80-14:

Section 4.100. Site Design Review Overlay District (/SDRO).

Section 4.102. Purpose. This section provides for the comprehensive review of proposed development permits in order to preserve scenic views and to promote attractive development of the site compatible with the natural and man-made environment.

Section 4.104. Types of Review. All development which is situated within the /SDRO District Boundary that falls under the thresholds in this section shall be subject to the Criteria for Design Review Evaluation, Section 4.106 and Article 2, Procedures for Land Use Applications.

1. The following types of projects shall require review according to the Type II procedure, Section 2.020. For purposes of these types of Major projects, review by the Design Review Advisory Committee as described in Section 4.116, is required.
 - a. Any new residential development proposing to construct a dwelling as described in Section 1.030 (Dwelling Types).
 - b. Any new commercial development proposing to construct structures devoted to a commercial use.
 - c. Any new commercial development creating additional cumulative square footage beyond 20% of an existing building footprint.
 - d. Any new residential development creating additional cumulative square footage beyond 20% of an existing building footprint.
2. The following types of projects shall require design review according to the Type II Procedure, Section 2.020. For purposes of these types of Minor projects, review by the Design Review Advisory Committee as described in Section 4.116, is not required.
 - a. Accessory buildings in residential zones.
 - b. Projects that require building permits for exterior renovations on commercial and residential structures; including but not limited to new decks, awnings, alterations

PLOT PLAN

NAME Chad & Debbie Calhoun
 PROPERTY LOCATION TBD Woodland Heights Rd, Arch Cape
 LEGAL ADDRESS TS 4N R 10W Sec 19 Tax Lot # 3402
Clatsop County, State of Oregon

THE INFORMATION ON THIS PLOT PLAN HAS BEEN PROVIDED AND REVIEWED BY THE PROPERTY OWNER WHO BY SIGNING BELOW: 1) ACKNOWLEDGES AND ACCEPTS FULL RESPONSIBILITY FOR ITS ACCURACY AND COMPLETENESS; 2) IS RESPONSIBLE TO ENSURE THAT THE IMPROVEMENTS TO THE SITE TAKE PLACE IN CONFORMANCE WITH THIS PLAN; 3) WILL ESTABLISH ALL THE CORNER IRONS, LOT LINES AND CODE-REQUIRED SETBACKS REQUIRED OF THIS PROPERTY. ANY CHANGE(S) TO THIS PLAN MUST BE PRE-APPROVED BY THE GOVERNMENTAL AGENCIES WITH JURISDICTION, THE MORTGAGE LENDER AND THE CONTRACTOR AND DOCUMENTED.

Scale 1"=15'

[Signature]
 OWNER SIGNATURE

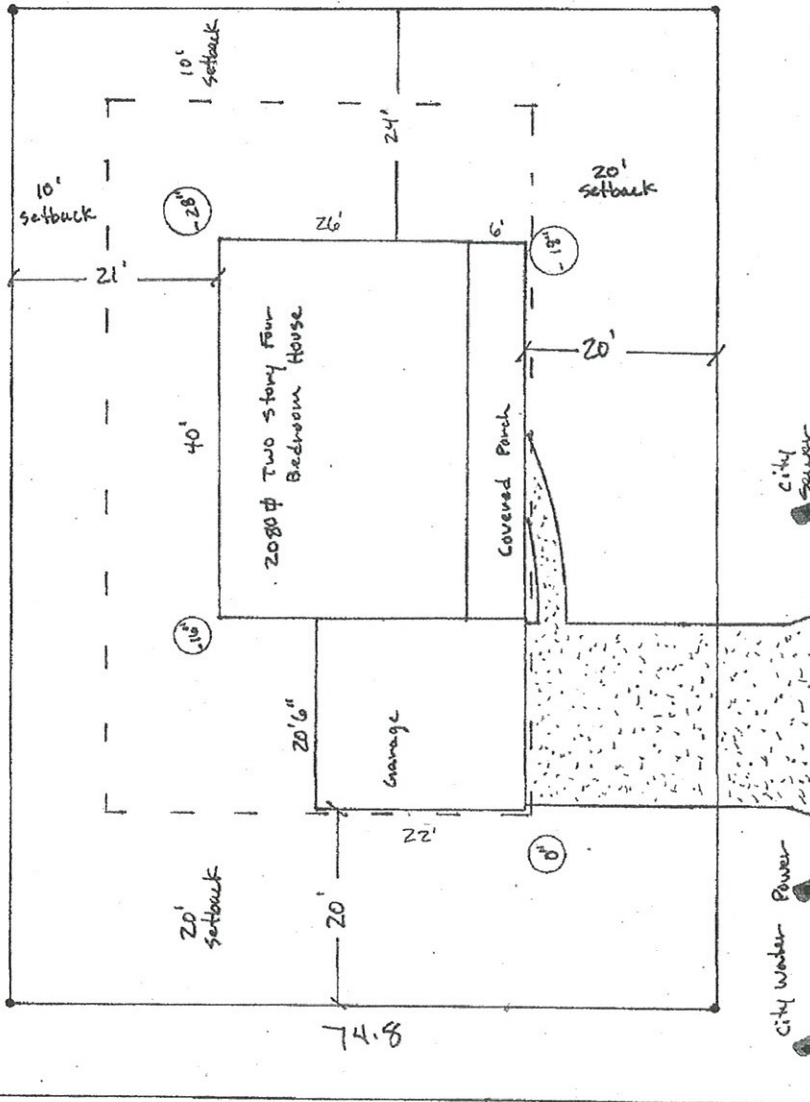
1/31/09
 DATE

[Signature]
 OWNER SIGNATURE

1-31-09
 DATE

Max Average Grade Height = 24' 9"

0" -16" -28" -18" -27" ÷ 4
 Total AVE GRADE -15.5" -1.4"

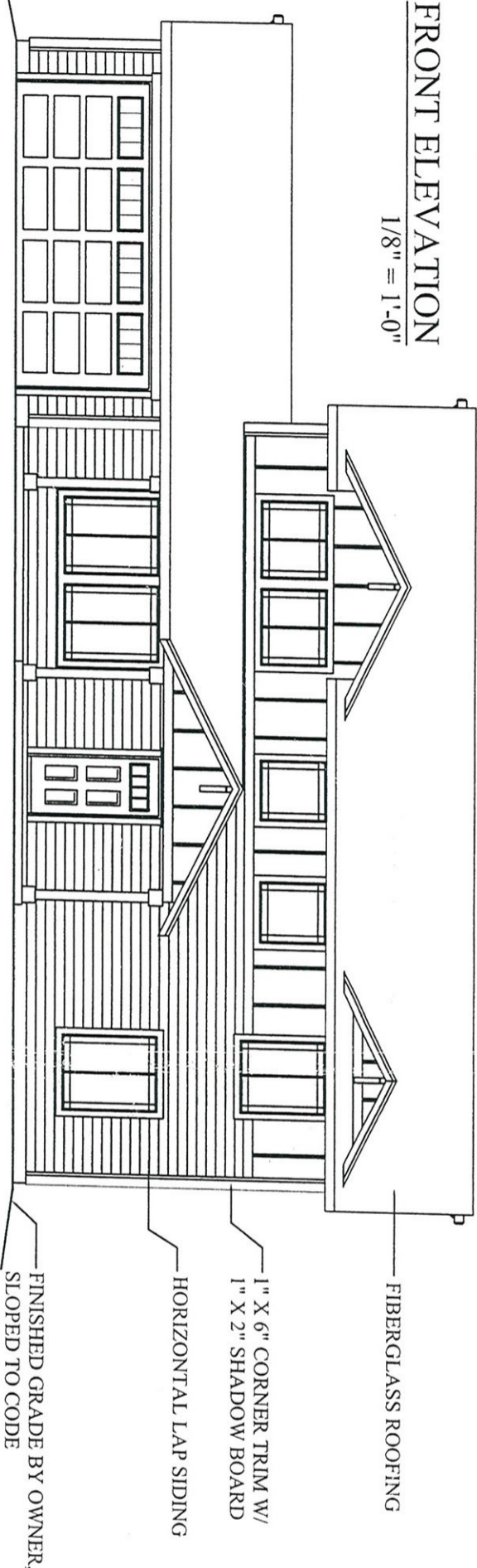


105.06

Woodland Heights Road

Hemlock Street

FRONT ELEVATION
1/8" = 1'-0"



OPTIONAL EXTERIOR SIDING & TRIM SPECIFICATIONS

- 1. Siding on walls - LP Smart Siding 3/8" thick X 8" wide horizontal lap siding.
- 2. Siding on upper portion of front wall & gables - LP Smart Panel plain siding with 4/4 X 2 LP Smart Trim vertical bats at 16" OC. 5/4 X 6 LP Smart Trim bell band located as shown on elevation drawings at bottom of gables & separating upper & lower portions of front wall.
- 3. Window and Sliding Glass Door trim. 5/4 X 4 LP Smart Trim all sides. On grouped windows the vertical center mullions will be 7/16" LP Smart Panel plain siding ripped to fit the width between windows.
- 4. Window Grids. Integral window grids in perimeter style configuration (Prairie Frame) for all windows. No grids in SGD.
- 5. Garage and Front Entry Door trim. 5/4 X 4 LP Smart Trim each side and 5/4 X 6 LP Smart Trim Header. Header overhangs sides 1 1/2" on each end. (Does not apply to other exterior doors.)
- 6. Wrapped porch support beam and pillars - Front, back, bottom (between posts) and exposed end of the support beam to be covered with LP Smart Panel plain (no groove) siding. 4 X 4 posts boxed in with 5/4 X 6 and 5/4 X 8 LP Smart Trim. The base and top to be finished with 5/4 X 6 LP Smart Trim as a footing and crown. Pillar covers to terminate at the bottom 8" below the top of the rough floor elevation of the home. The Owner will provide the front porch (wood deck or concrete slab) to match this elevation.
- 7. Look-out beam at peak of designated gable ends - 4 X 6 cedar beam, 4 X 4 cedar angled brace, and 2 X 4 cedar back plate.

4-2080 G REVERSE

APPROVED

OWNER

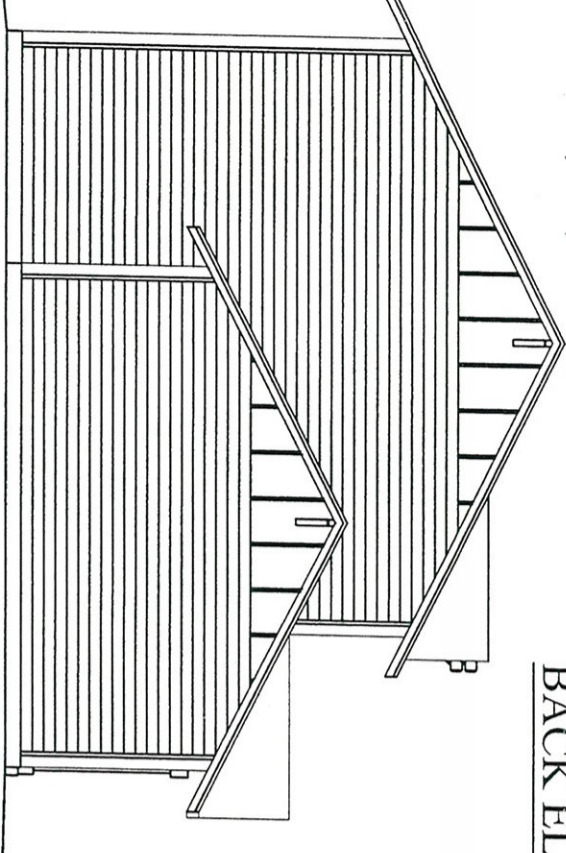
OWNER

DATE 1-31-09

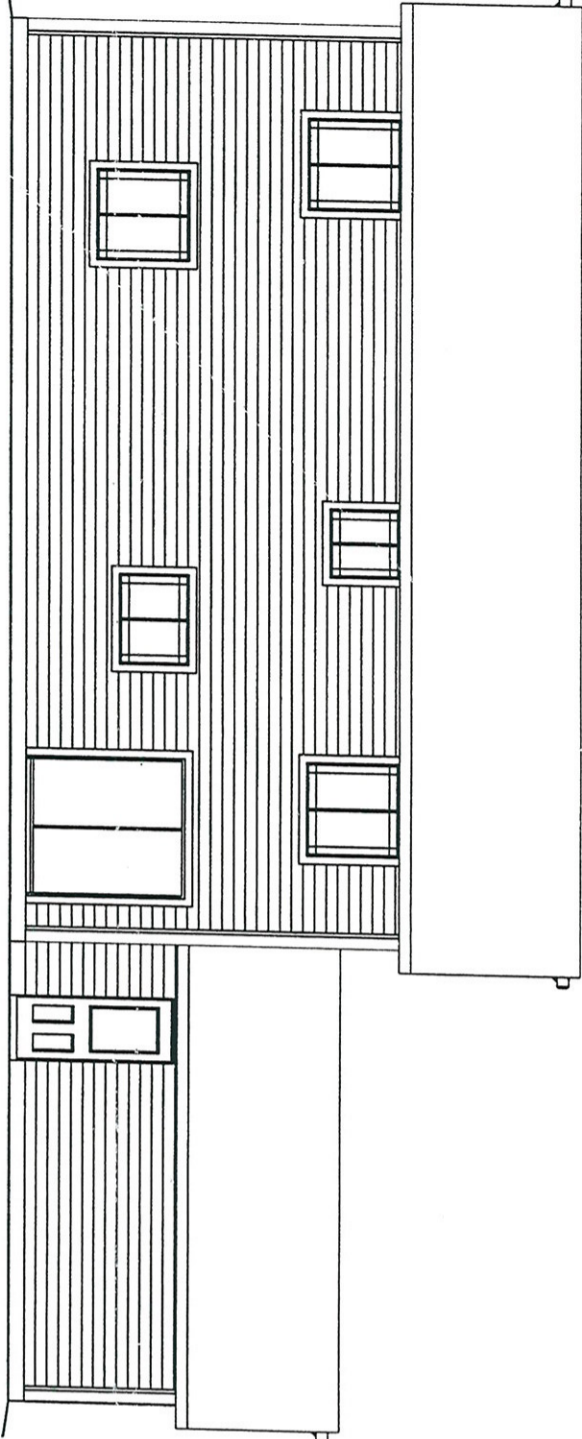
OFFICER, ADAIR HOMES

APPROVED: *[Signature]*
OWNER: *[Signature]*
OWNER: *[Signature]*
DATE: 1-31-09
OFFICER, ADAIR HOMES

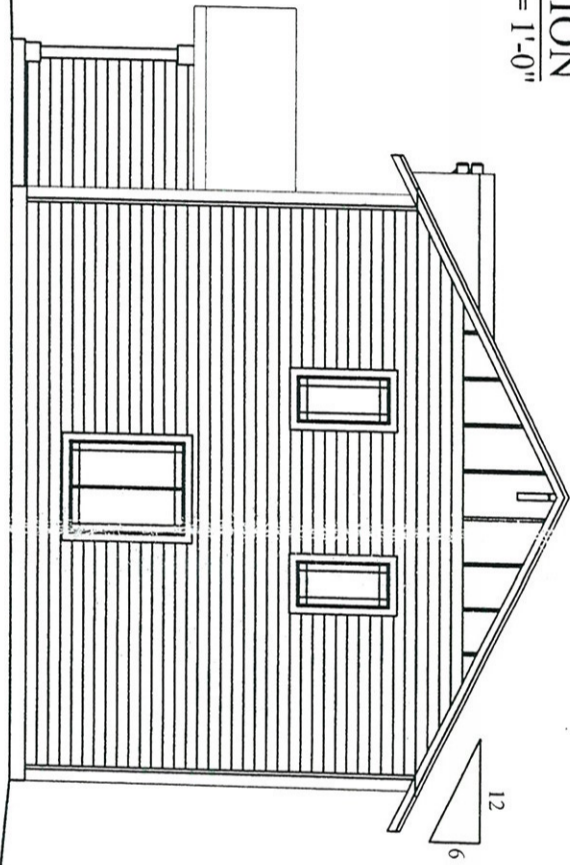
LEFT ELEVATION
1/8" = 1'-0"



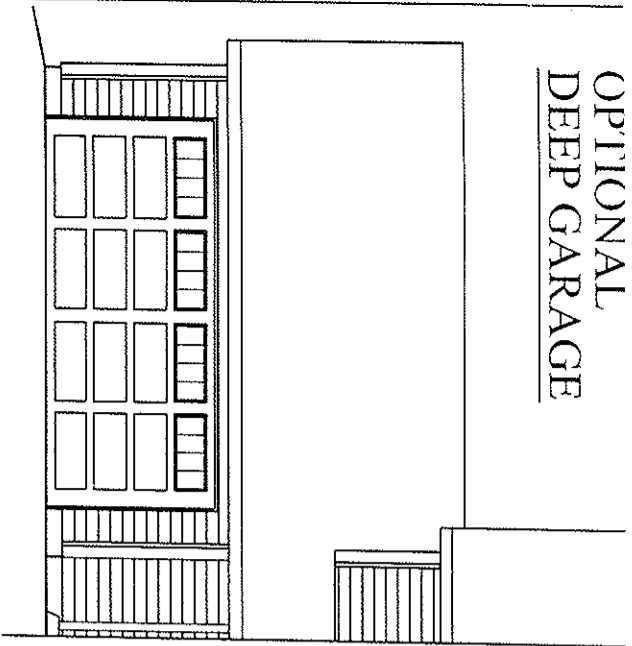
BACK ELEVATION
1/8" = 1'-0"



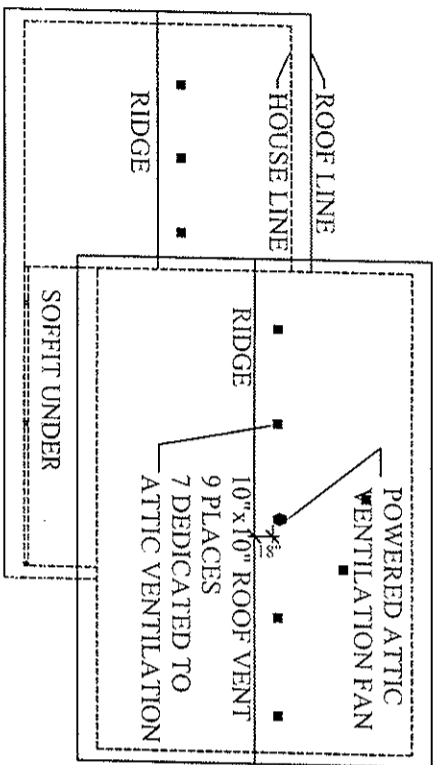
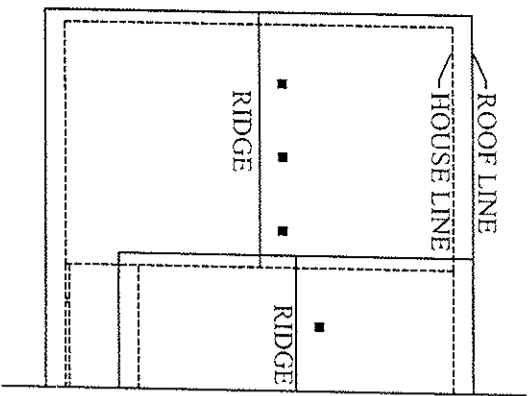
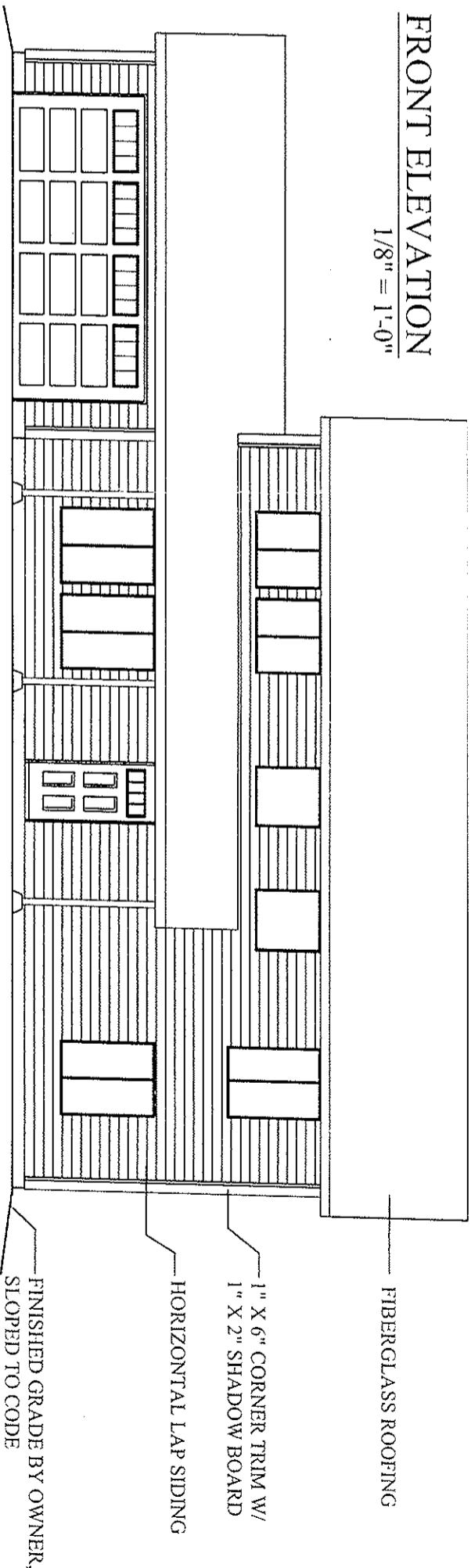
RIGHT ELEVATION
1/8" = 1'-0"



OPTIONAL
DEEP GARAGE

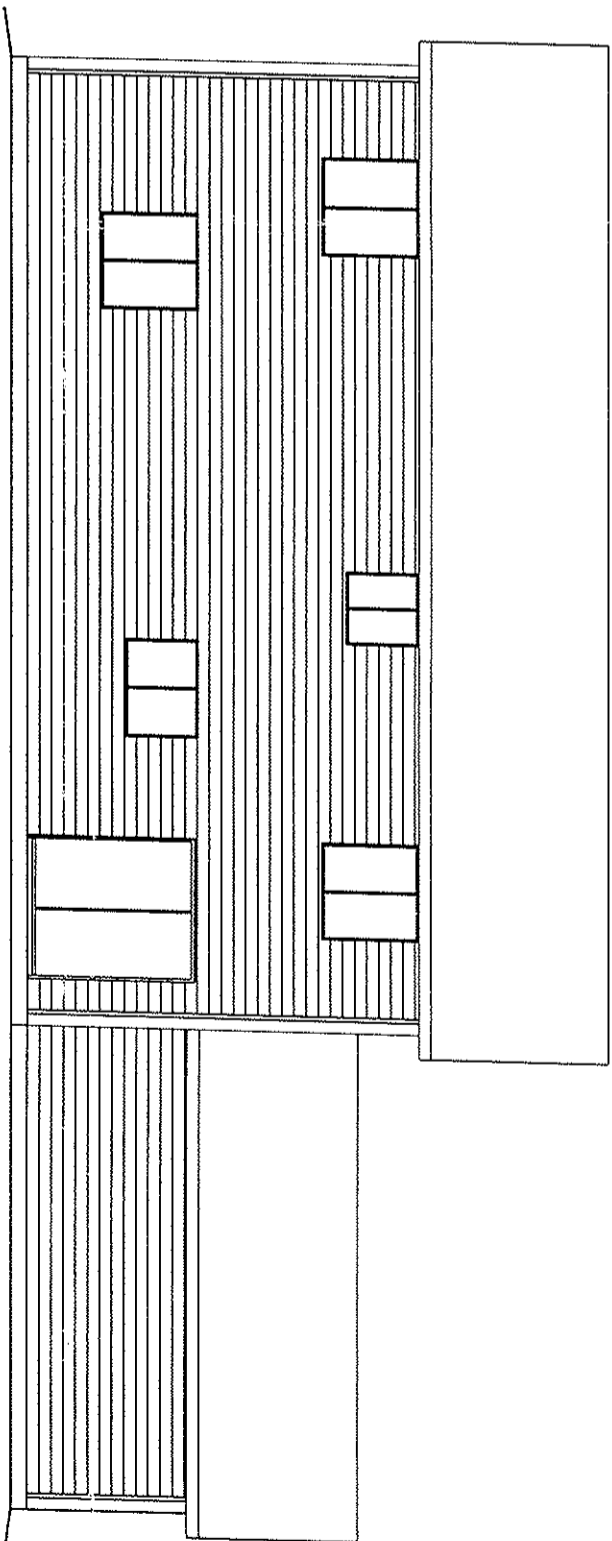


FRONT ELEVATION
1/8" = 1'-0"

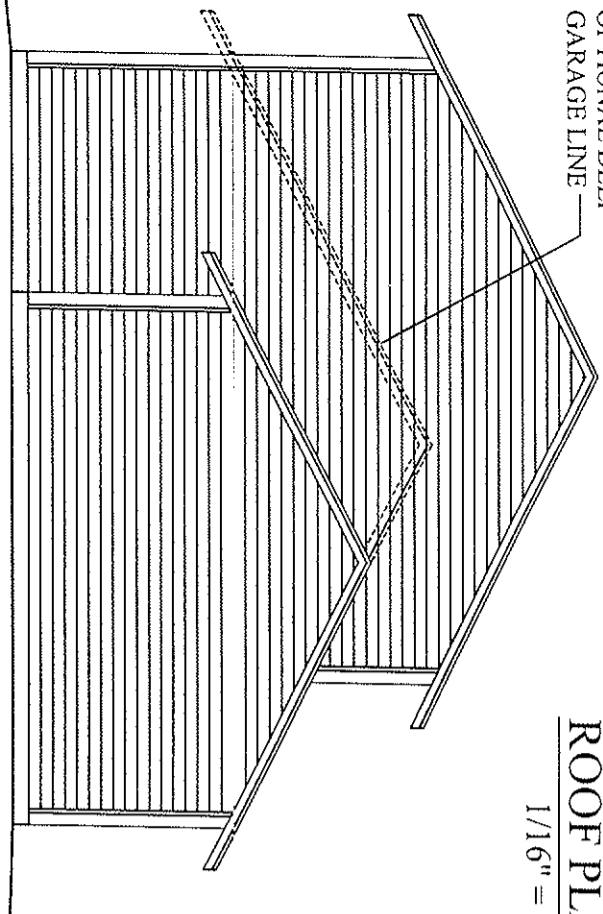


OPTIONAL DEEP
GARAGE LINE

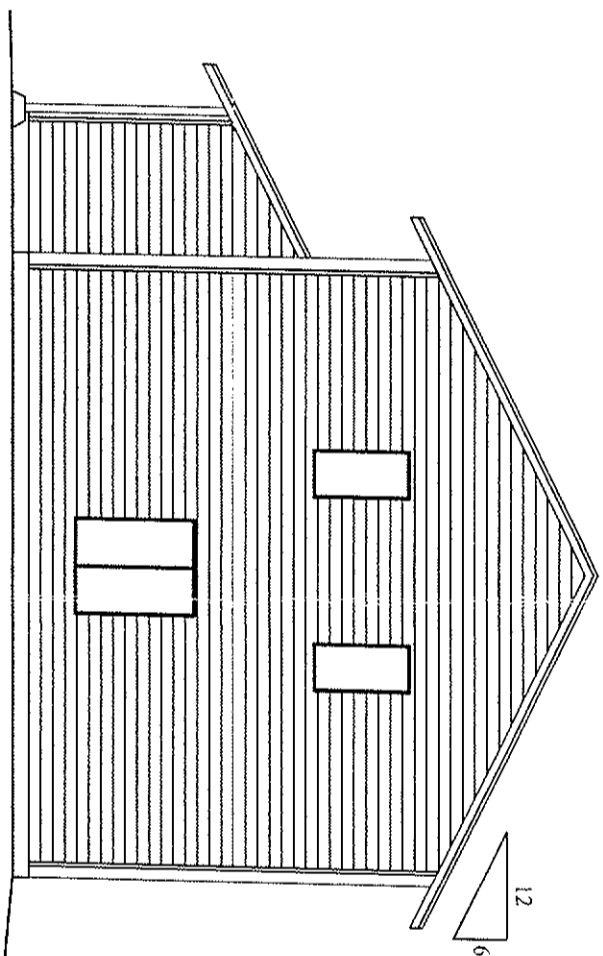
ROOF PLAN
1/16" = 1'-0"



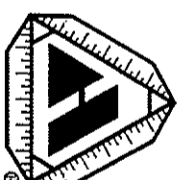
BACK ELEVATION
1/8" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"



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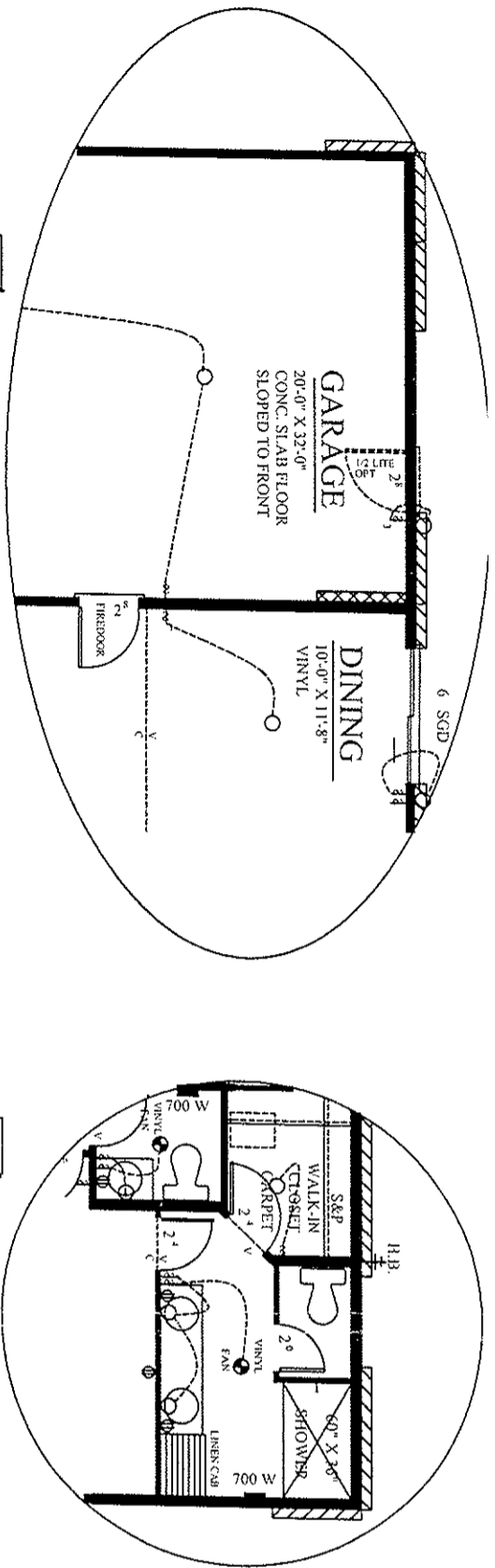
OREGON

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REVISED

4-2080 G REVERSE

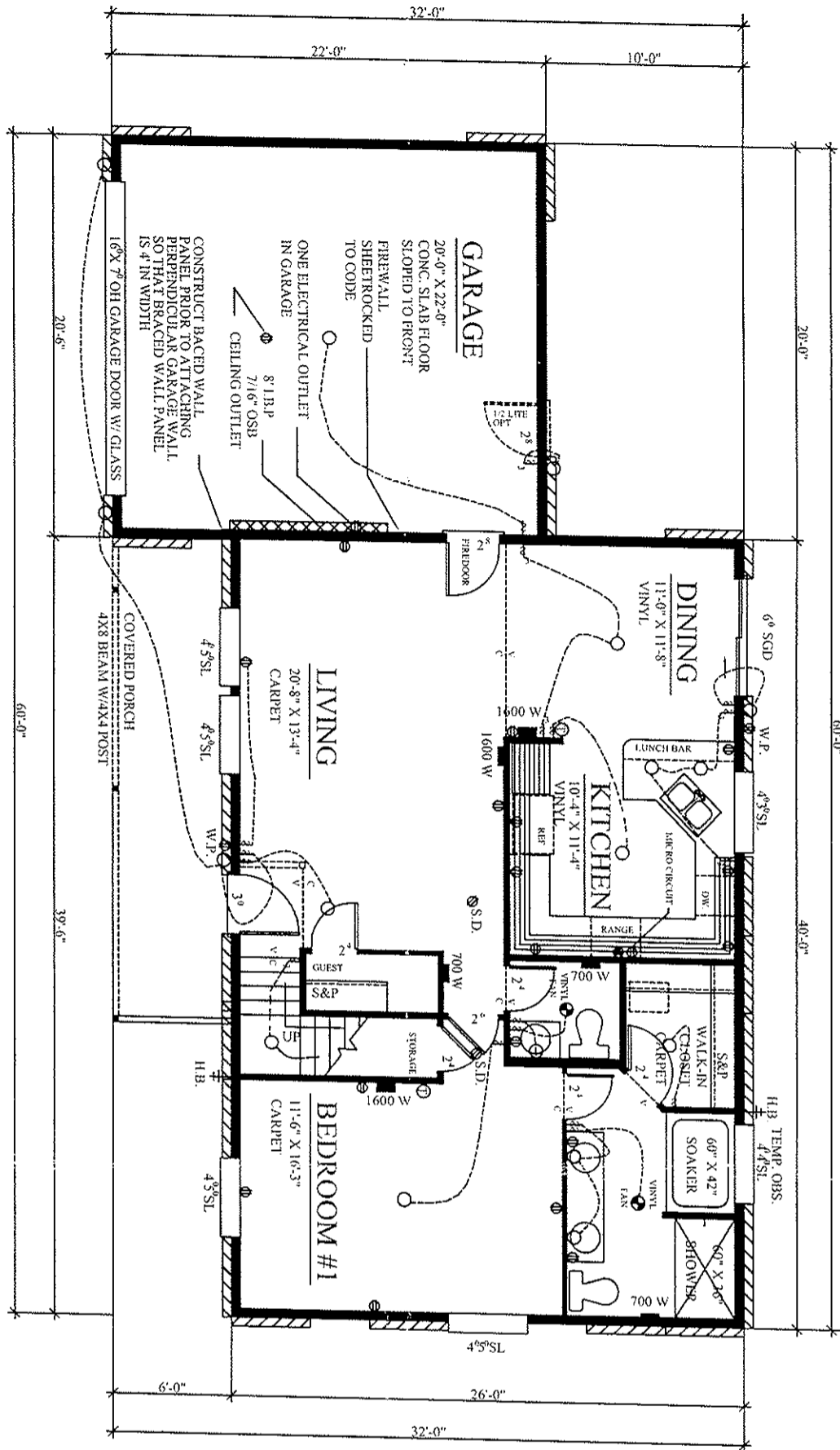
ELEVATIONS

DRAWING NUMBER
1



OPTIONAL DEEP GARAGE

OPTIONAL MASTER BATH



NOTE:

1. ACTUAL LOCATION OF ELECTRICAL OUTLETS, HEATERS, THERMOSTATS, AND ALL ELECTRICAL COMPONENTS SHALL BE DETERMINED BY THE ELECTRICIAN AND INSTALLED TO CODE.
2. THESE PLANS ARE GENERALIZED AS OPPOSED TO SPECIFIC. THE FINAL MEASUREMENTS AND LAYOUT OF THE STRUCTURE WILL DIFFER SOMEWHAT FROM WHAT IS SHOWN.
3. ATTIC FAN TIMER SWITCH LOCATION, INSTALL AT SAME HEIGHT ON WALL AS THERMOSTATS.
4. ALL EXTERIOR HOUSE & GARAGE WALLS SHALL BE 2" X 6" STUDS AT 16" O.C.

MAIN FLOOR PLAN

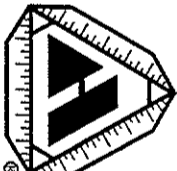
1040 SQ. FT. MAIN FLR.
1040 SQ. FT. UPPER FLR.
2080 SQ. FT. TOTAL

WINDOW & DOOR SCHEDULE

WINDOWS	
QNTY	4
	4'6" SLIDER
1	4'6" SLIDER TEMP. OSB.
1	4'6" SLIDER
EXTERIOR DOORS	
QNTY	1
	16'7" O.H. GAR. DR. W/ GLASS
1	2'8" LH FIREDOOR
1	6'0" S.G.D.
1	3'0" LH ENTRY
1	2'8" LH 1/2 LITE
INTERIOR DOORS	
QNTY	1
	2'6" LH
4	2'4" RH
1	2'4" LH

NOTES:

1. All exterior walls of home are continuously sheathed per R602.10.5. The amount of bracing provided meets or exceeds that required in Table R602.10.3(2) for Seismic Design Categories C, D1 and D2.
2. All walls have full height panels that meet the width requirements of R602.10.5 and the spacing requirements per R602.10.3(2). (All panels shown are 4 feet in width.)
3. Exterior wall corners to be built per figure R602.10.5.
4. Per the exception to R602.10.1.1 braced wall line spacing may be increased up to a maximum of 50 feet when the conditions listed are met. The amount of bracing provided in the exterior wall lines and the distance between the wall lines allow for this exception to be applied in Seismic Design Categories D1, and D2 (Category C does not require interior braced wall lines per the exception in R602.10.11.)
5. Attachment as required per R602.10.8 shall be provided on all exterior walls, bottom plate, entire wall length.



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FLOOR PLAN

DRAWING NUMBER

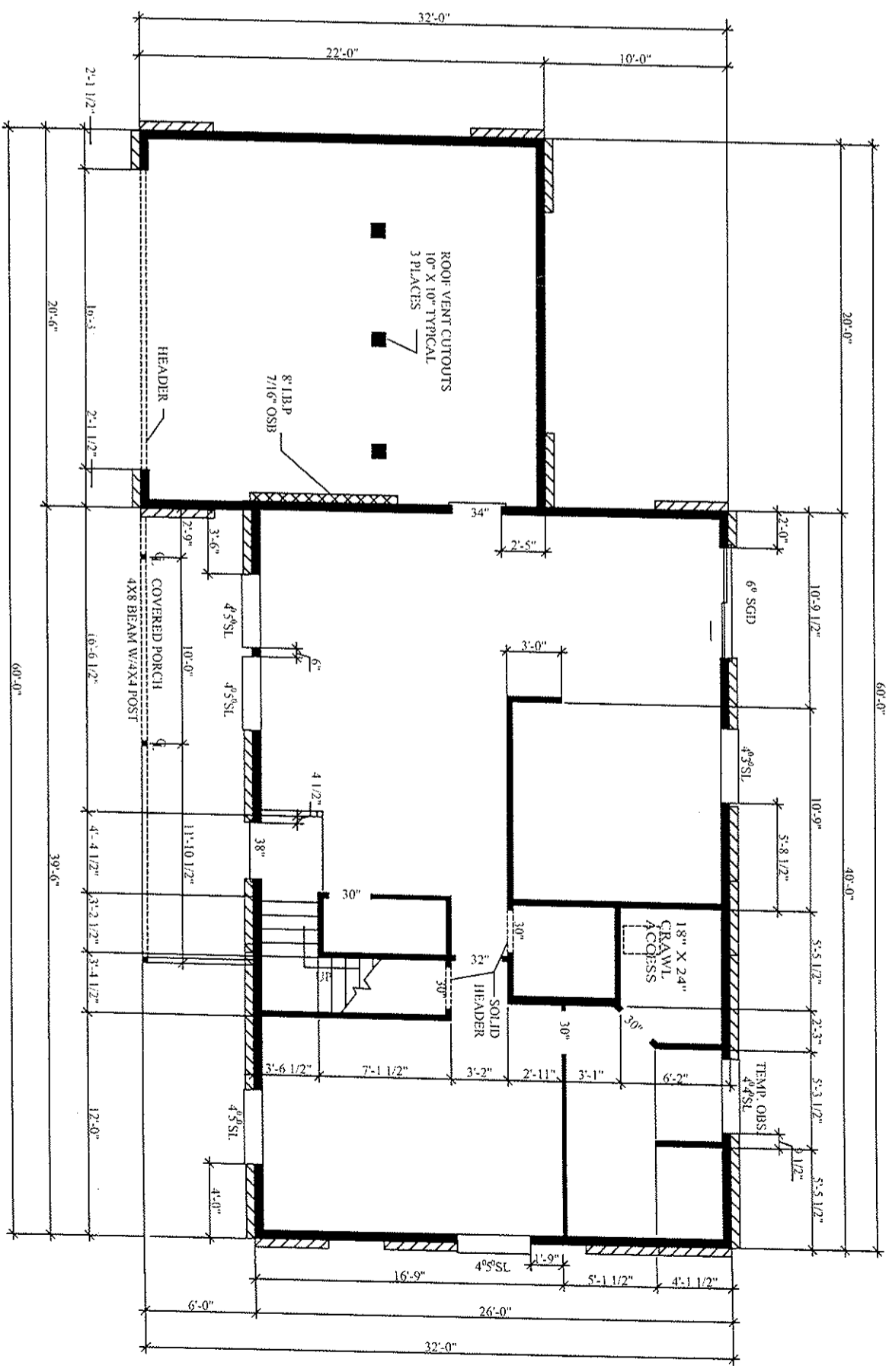
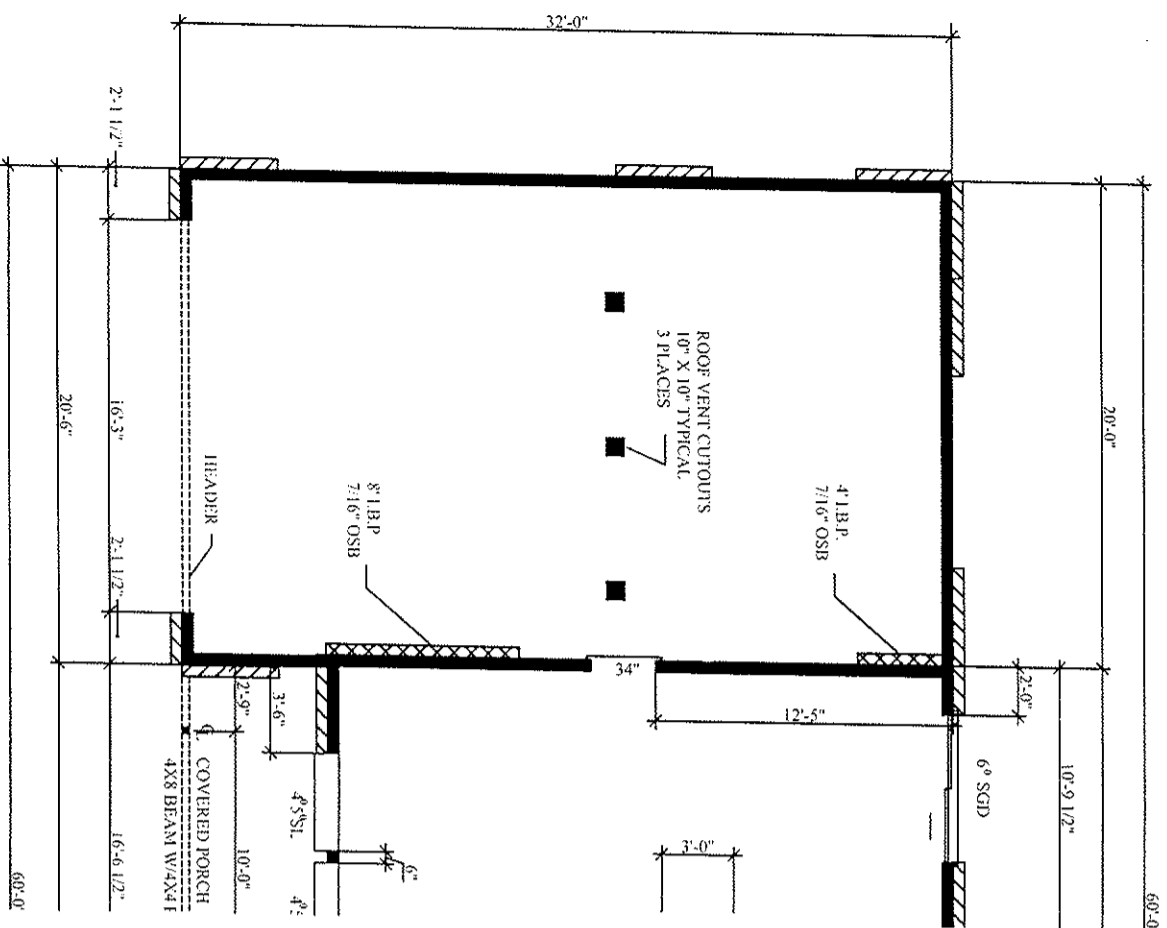
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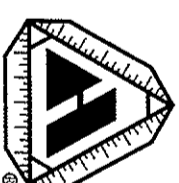
1. All exterior walls of home are continuously sheathed per R602.10.5. The amount of bracing provided meets or exceeds that required in Table R602.10.3(2) for Seismic Design Categories C, D1 and D2.
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5. Attachment as required per R602.10.8 shall be provided on all exterior walls, bottom plate, entire wall length.



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DATE	11/01/08		REVISED
4-2080 G REVERSE		DRAWING NUMBER	
UPPER FLOOR		3	



LOWER FRAMING

$$\frac{1}{8} = 0.125$$


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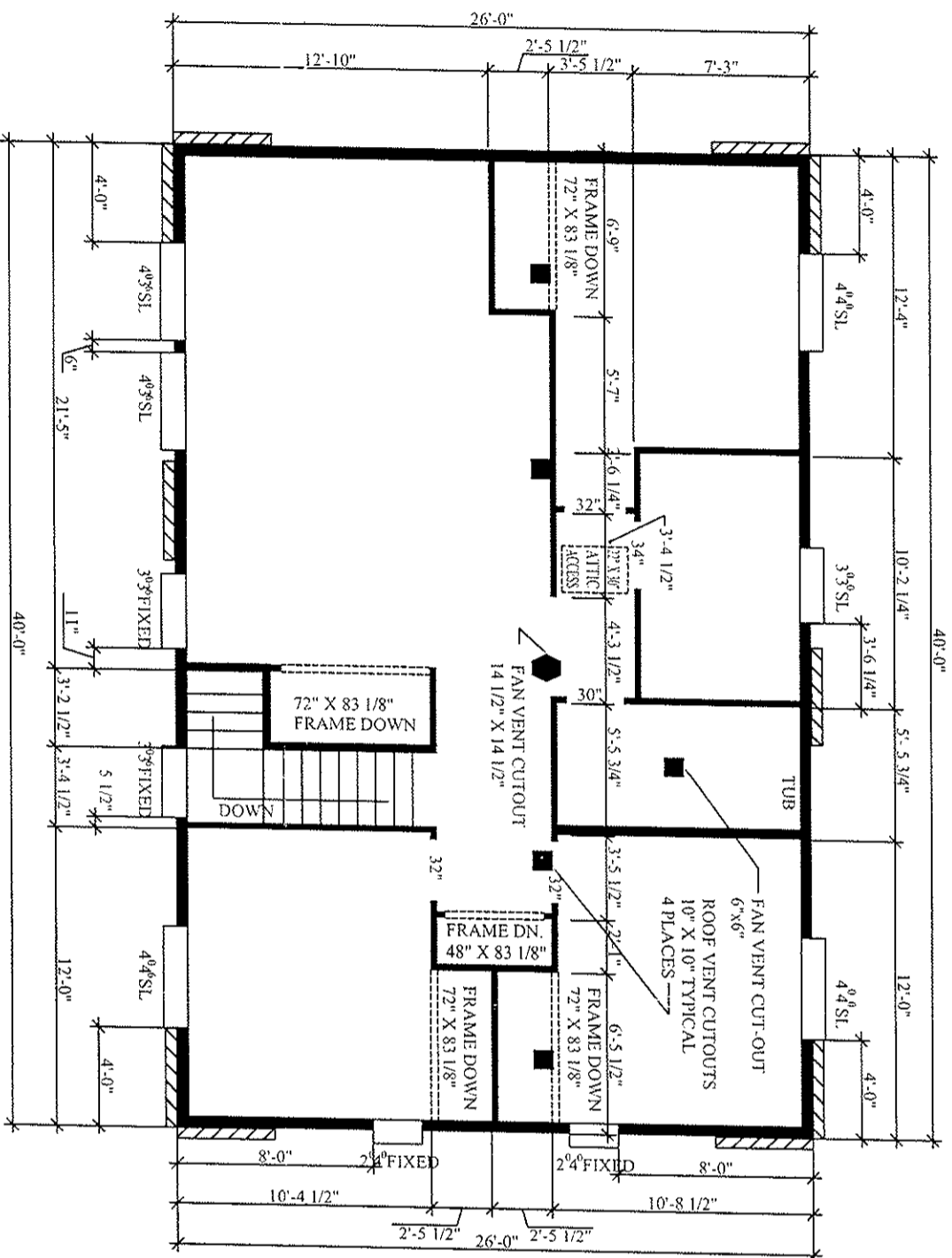
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4-2080 G REVERSE

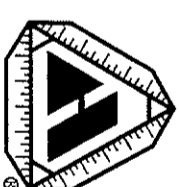
LOWER FRAMING

DRAWING NUMBER
6



UPPER FRAMING

1/8" = 1'-0"



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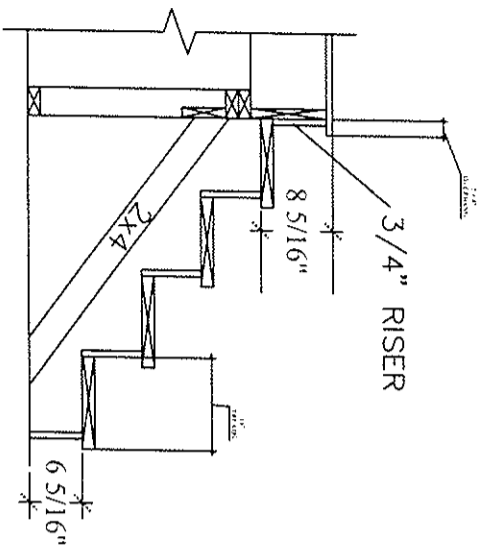
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4-2080 G REVERSE

UPPER FLR FRAMING

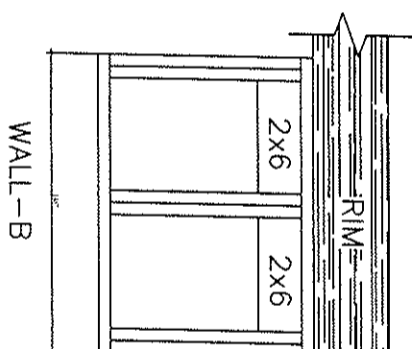
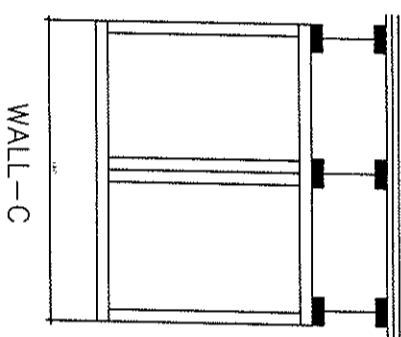
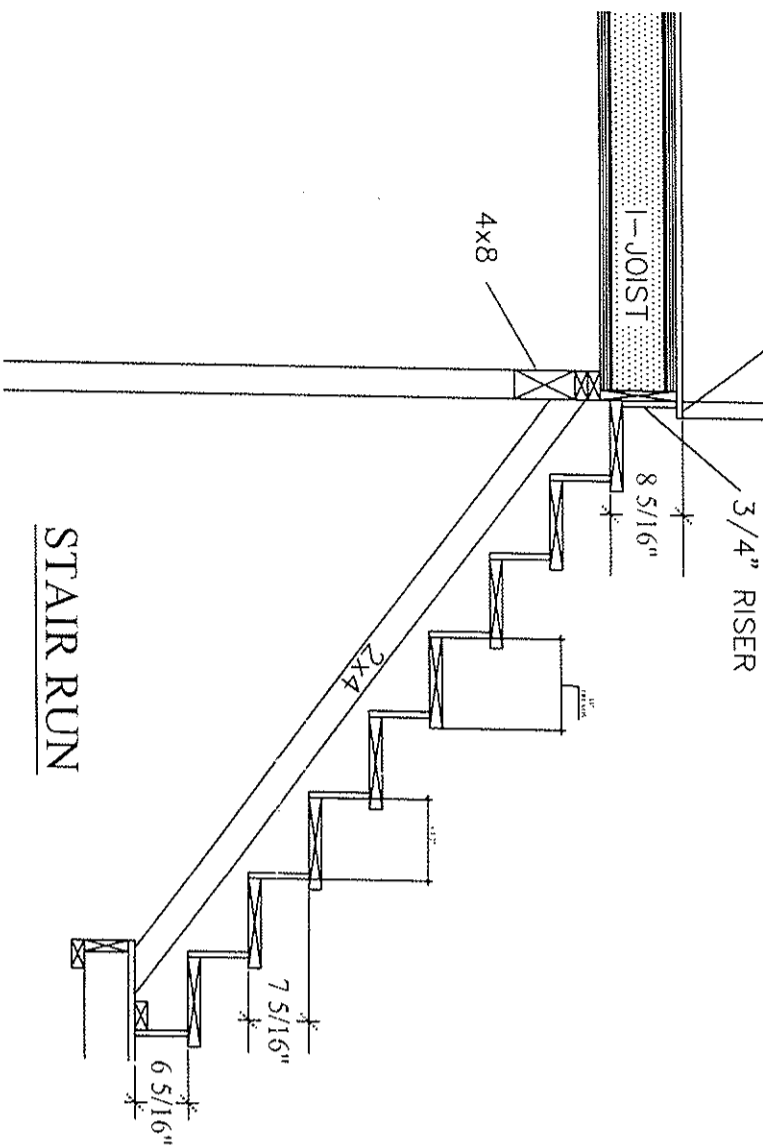
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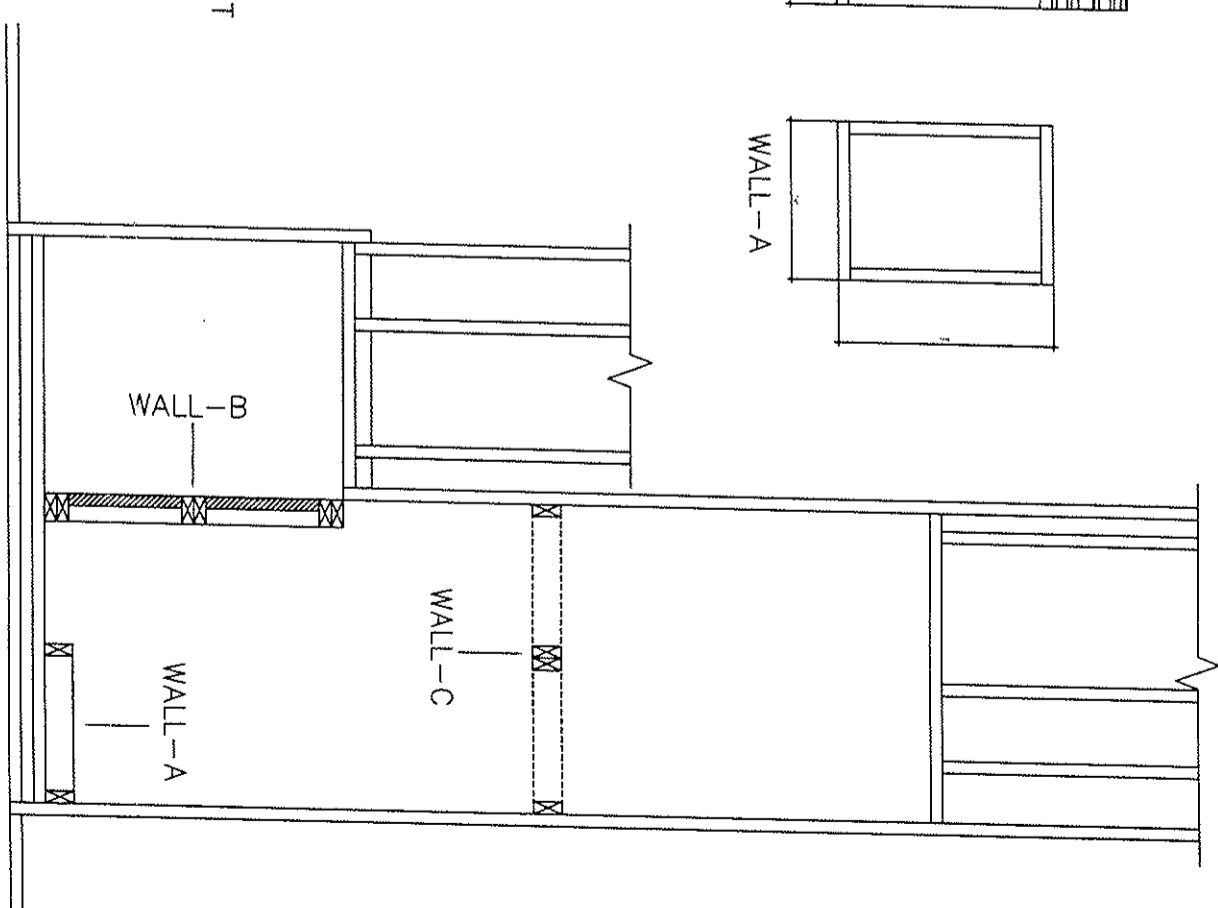
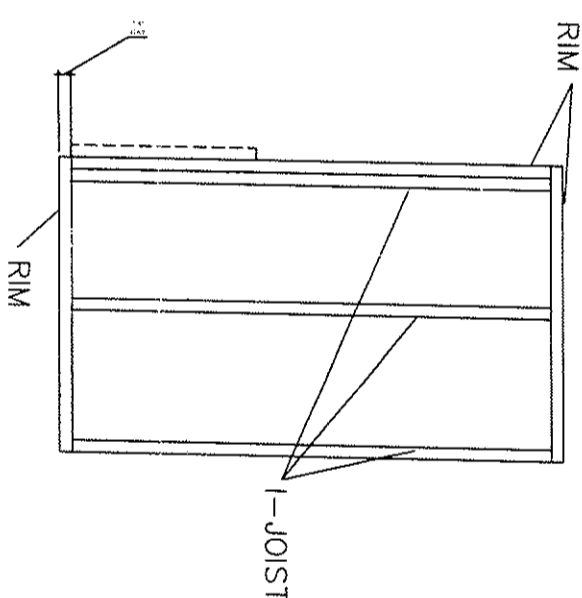
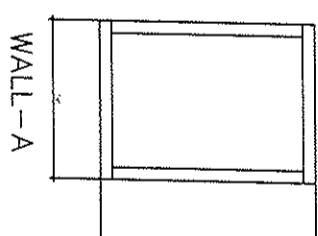


NOSE OF SUBFLOOR
IN LINE WITH NOSE
OF TREADS

STAIR RUN



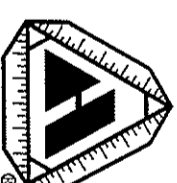
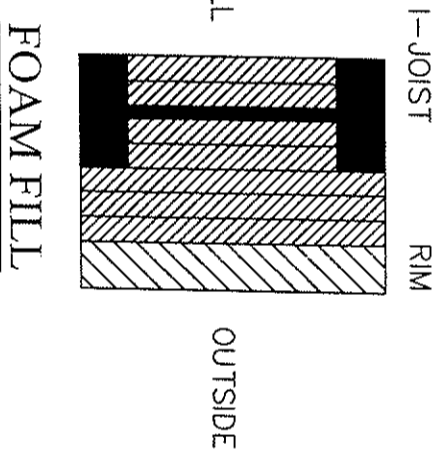
STAIR WALLS



STAIR DETAILS

NTS

STAIRWELL



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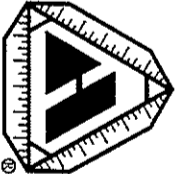
STAIR LAYOUT

8

			FULL 8 SHEETS			
48"	FULL SHEET	FULL SHEET	FULL SHEET	FULL SHEET	FULL SHEET	48"
			FULL 8 SHEETS			
48"	FULL SHEET	FULL SHEET	FULL SHEET	FULL SHEET	FULL SHEET	48"
FULL SHEET		FULL SHEET	FULL SHEET		FULL SHEET	
48"	FULL SHEET	FULL SHEET			FULL SHEET	67 3/16"
FILL WITH EXTRA						FILL WITH EXTRA

2ND FLOOR DECKING LAYOUT

1/4" = 1'-0"



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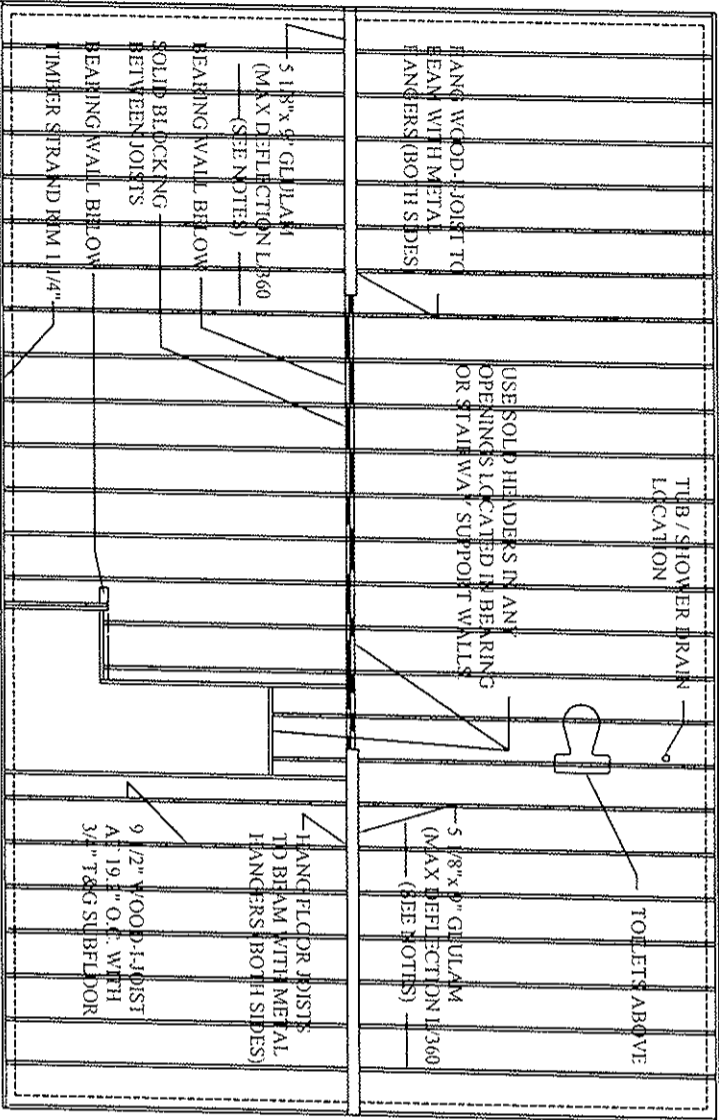
REVISED

4-2080 G REVERSE

DECK LAYOUT

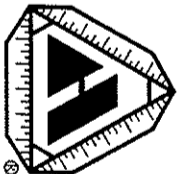
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9



FLOOR JOIST LAYOUT

1/8" = 1'-0"



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UPPER JOIST LAYOUT

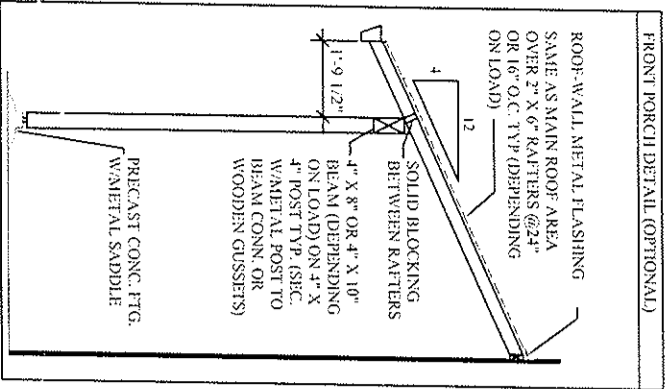
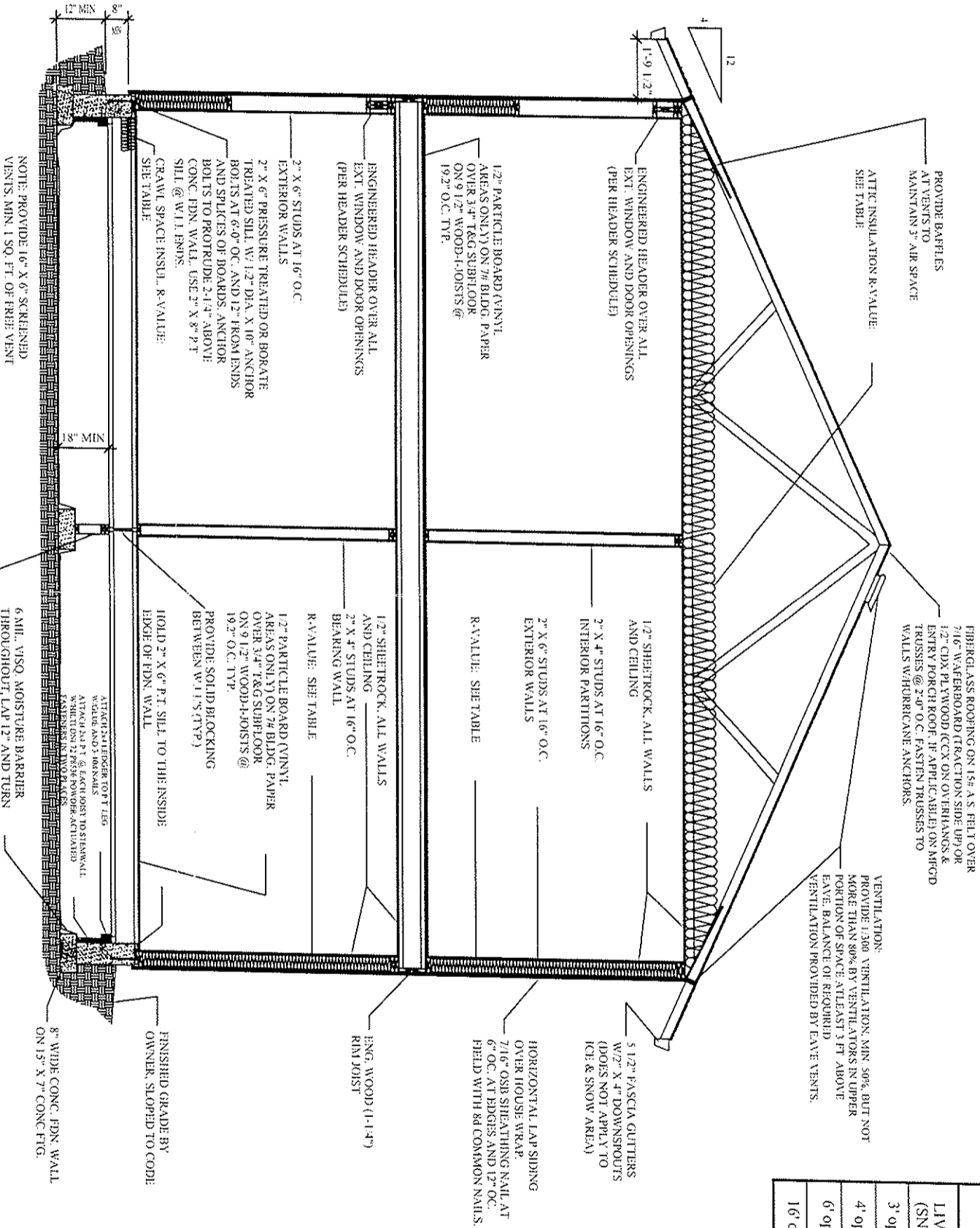
DRAWING NUMBER

10

HEADER SCHEDULE FOR FIRST FLOOR			
1 3/4" x 5 1/2" LVL 1.5c			
LIVE LOAD (SNOW LOAD)	UP to 35#	36# - 55#	
3' openings	1 ply	2 ply	
4' openings	2 ply	2 ply	
6' openings	3 ply (1.9E)	3 ply (1.9E)	
16' opening	5 1/4" x 11 7/8"	5 1/4" x 11 7/8" (2.0E)	

HEADER SCHEDULE FOR SECOND FLOOR			
1 3/4" x 5 1/2" LVL 1.5c			
LIVE LOAD (SNOW LOAD)	UP to 35#	36# - 55#	
3' openings	1 ply	2 ply	
4' openings	1 ply	2 ply	
6' openings	2 ply	3 ply	

WASHINGTON INSULATION VALUES	
CEILING - R38 FLAT CEILINGS	
WALLS - R21	
FLOORS - R30	
OREGON ENERGY CODE: PREScriptive STANDARDS	
CEILING - R38 FLAT CEILINGS	
WALLS - R21	
FLOORS - R30	
50 PERCENT OF ALL PERMANENTLY INSTALLED INTERIOR AND EXTERIOR LIGHTING FIXTURES ON THE BUILDING CONTAIN HIGH EFFICIENCY LAMPS (MINIMUM 40 LUMENS PER WATT)	
ADDITIONAL MEASURE PATH	
43 ZONAL ELECTRIC HEAT AND INCREASE 50% FIXTURE COUNT TO 75% FIXTURE COUNT WITH HIGH EFFICIENCY LAMPS.	
IDAHO INSULATION VALUES	
SEE ATTACHED CALCULATIONS	
U-VALUE FOR EXT. DOORS AND WINDOWS	
3/8 S236 FOUR LITE = .19	
2/8 S206 12 LITE = .30	
2/8 F160 FIREDOOR = .15	
WINDOWS & SLIDING GLASS DOOR = .34	



TYPICAL CROSS SECTION

1/4" = 1'-0"

SCALE: 1/4"=1'-0"	DRAWN BY:
DATE: 04/11/07	REVISED 5/7/08
2 STORY CROSS SECTION	
ADAIR HOMES INC	DRAWING NUMBER 11